

PROJECT INFORMATION

PROJECT ADDRESS:
4626 89TH AVE SE
MERCER ISLAND, WA 98040
PROJECT OWNER:
DOUG AND ANDREA HOLTAN
TAX ASSESSOR'S PARCEL NO.:
0191100785
PLAT AND LOT NUMBER:
ALLVIEW HEIGHTS
PLAT BLOCK 10
PLAT LOT 13
PROJECT DESCRIPTION:
1. 184 SF ADDITIONS TO EXISTING BEDROOMS.
2. BATHROOM REMODEL
3. EXIST. ROOF OVER LIVING AREA TO BE REMOVED AND REPLACED WITH NEW TRUSSES.

APPLICABLE CODES

ALL CODES INCLUDE WASHINGTON STATE AND CITY OF MERCER ISLAND AMENDMENTS:
2015 INTERNATIONAL RESIDENTIAL CODE
2015 INTERNATIONAL FIRE CODE
2015 INTERNATIONAL MECHANICAL CODE
2015 INTERNATIONAL FUEL GAS CODE (NATURAL GAS)
2015 NATIONAL FUEL GAS CODE (PROPANE)
2015 NATIONAL FUEL GAS CODE 58 (PROPANE)
2015 UNIFORM PLUMBING CODE
WASHINGTON STATE ENERGY CODE
WASHINGTON CITIES ELECTRICAL CODE
MERCER ISLAND ZONING CODE

ZONING INFORMATION

MERCER ISLAND ZONING: R-9.6
CONSTRUCTION TYPE: V
OCCUPANCY: R-3 (SINGLE FAMILY RESIDENCE)

PROJECT DIRECTORY

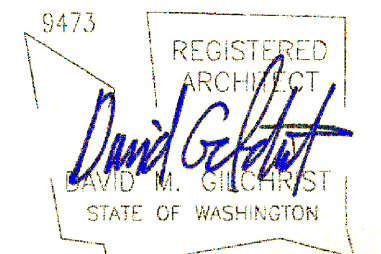
ARCHITECT:
DAVID GILCHRIST ARCHITECT, LLC
114 157TH AVE NE BELLEVUE, WA 98008
CONTACT: DAVID GILCHRIST 425-417-8492
STRUCTURAL ENGINEER:
NICKERSON ENGINEERING,
2221 EVERETT AVE #202, EVERETT, WA 98201
CONTACT: CHRIS NICKERSON 425-610-4425

FLOOR AREA CALCULATIONS

LOT AREA	9398
MERCER ISLAND ZONING R-9.6	
STRUCTURE	
EXIST. FLOOR AREA	1940
MAIN FLOOR ADDITION	184
EXIST ATTACHED GARAGE	455
TOTAL NEW FINISHED AREA	184
TOTAL COMPLETED FINISHED AREA	2124
FLOOR AREA RATIO (40% ALLOWABLE)	
FINISHED FLOOR AREA	2124
GARAGE	455
ACCESSORY BUILDING	0
TOTAL FAR	2579
FAR %	27%

ABBREVIATIONS

BM.	BEAM
BLKCKG.	BLOCKING
C.L.	CENTER LINE
CLG.	CEILING
COL.	COLUMN
CONC.	CONCRETE
C.Y.	CUBIC YARDS
D.B.	DROPPED BEAM
D.	DRYER
DR.	DOOR
D.S.	DOWNSPOUT
DW.	DISHWASHER
ELEC.	ELECTRICAL
ELEV.	ELEVATION
EQ.	EQUAL
EQUIP.	EQUIPMENT
EXIST.	EXISTING
EXT.	EXTERIOR
F.B.	FLUSH BEAM
FIN.	FINISH
FDN.	FOUNDATION
FLR.	FLOOR
FTG.	FOOTING
HDR.	HEADER
HT.	HEIGHT
HVAC	HEATING/VENTILATING/AIR CONDITIONING
HW	HOT WATER HEATER
K.P.	KING POST
INT.	INTERIOR
O.C.	ON CENTER
O.H.	OVERHANG
OHMM	ORDINARY HIGH WATER MARK
PTD.	PAINTED
P.T.	PRESSURE TREATED
PLY.	PLYWOOD
PTD.	PAINTED
REQD.	REQUIRED
SI	SQUARE INCHES
SF	SQUARE FEET
SM.	SIMILAR
STD.	STAINED
STRUCT.	STRUCTURAL
T.B.D.	TO BE DETERMINED
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
V.I.F.	VERIFY IN FIELD
W.C.	TOILET
WD.	WOOD
WRB	WEATHER RESISTIVE BARRIER
W	WASHING MACHINE



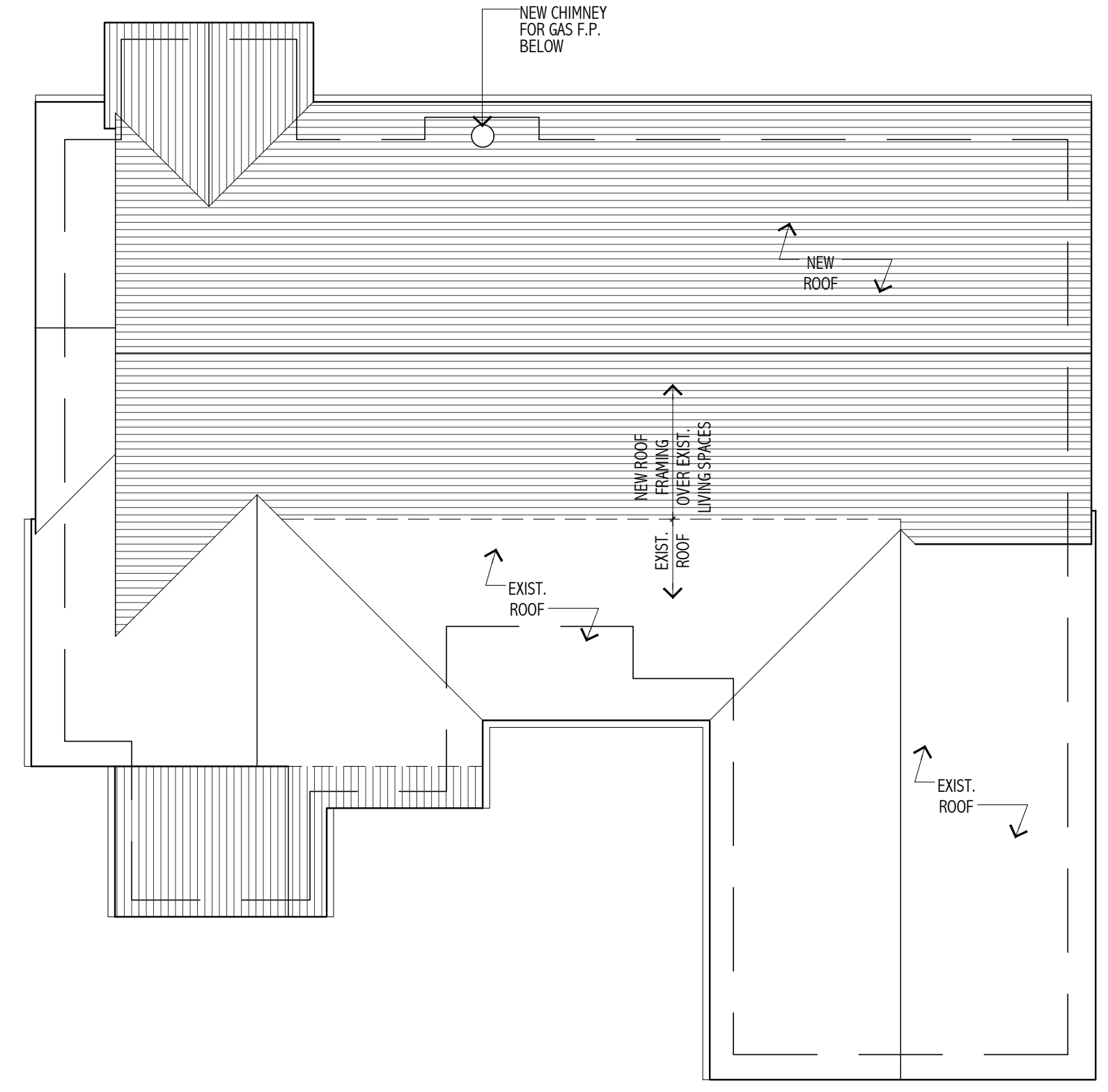
DRAWING TITLE:
PROJECT INFORMATION SITE PLAN
ISSUE PERMIT SUBMITTAL
DATE 03.22.2021

DRAWING SHEET INDEX

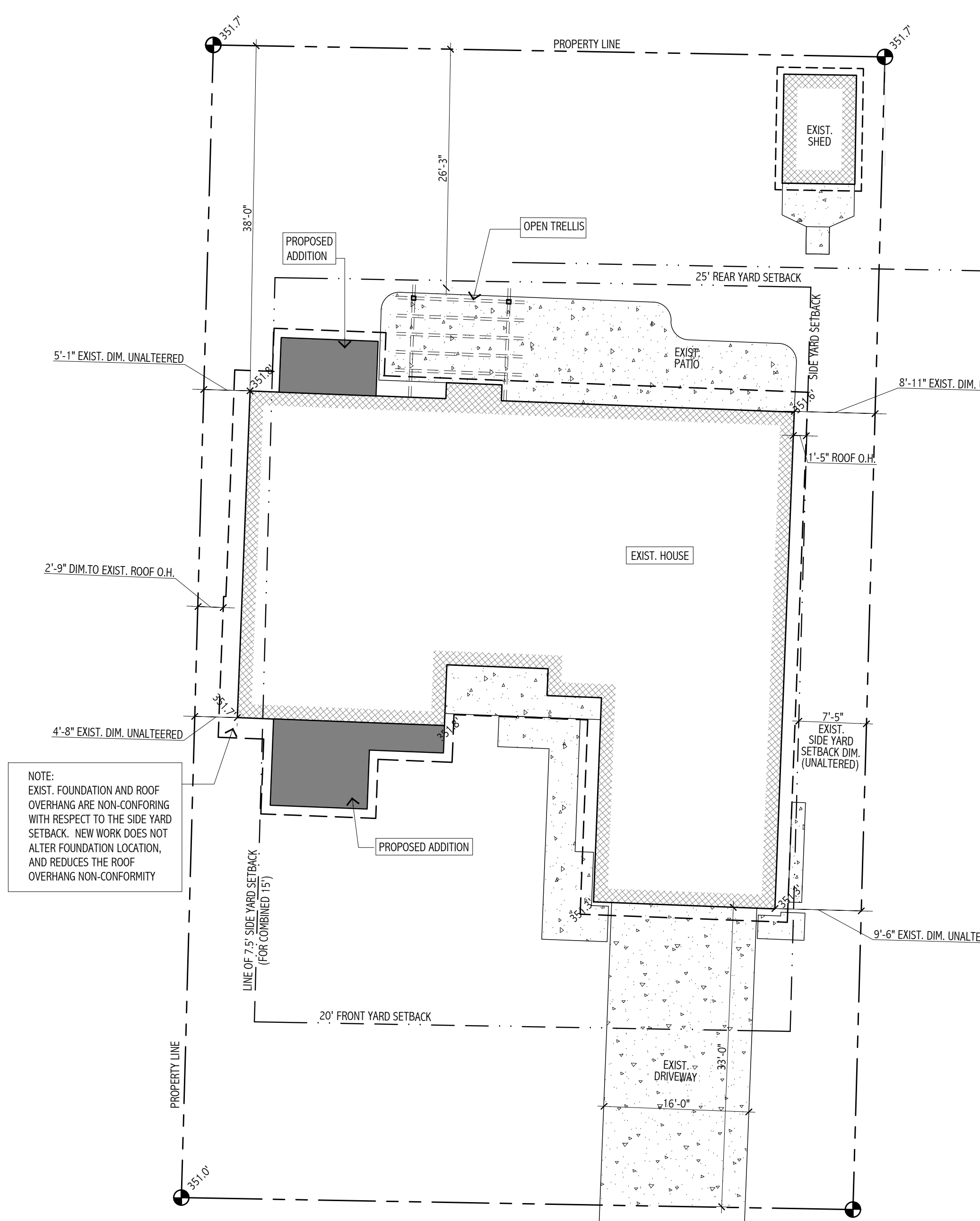
- A0.1 TITLE SHEET/PROJECT INFORMATION SURVEY
- A1.0 EXISTING PLANS AND DEMO PLAN
- A1.1 FLOOR PLAN AND PLAN NOTES
- A1.3 ROOF PLAN
- A2.1 EXTERIOR ELEVATIONS AND WINDOW SCHEDULE
- A3.1 BUILDING SECTIONS
- S1.0 STRUCTURAL GENERAL NOTES
- S2.0 FOUNDATION/FLOOR FRAMING PLAN
- S2.1 ROOF FRAMING PLAN
- S3.0 FOUNDATION DETAILS
- S4.0 FRAMING DETAILS
- S4.1 FRAMING DETAILS



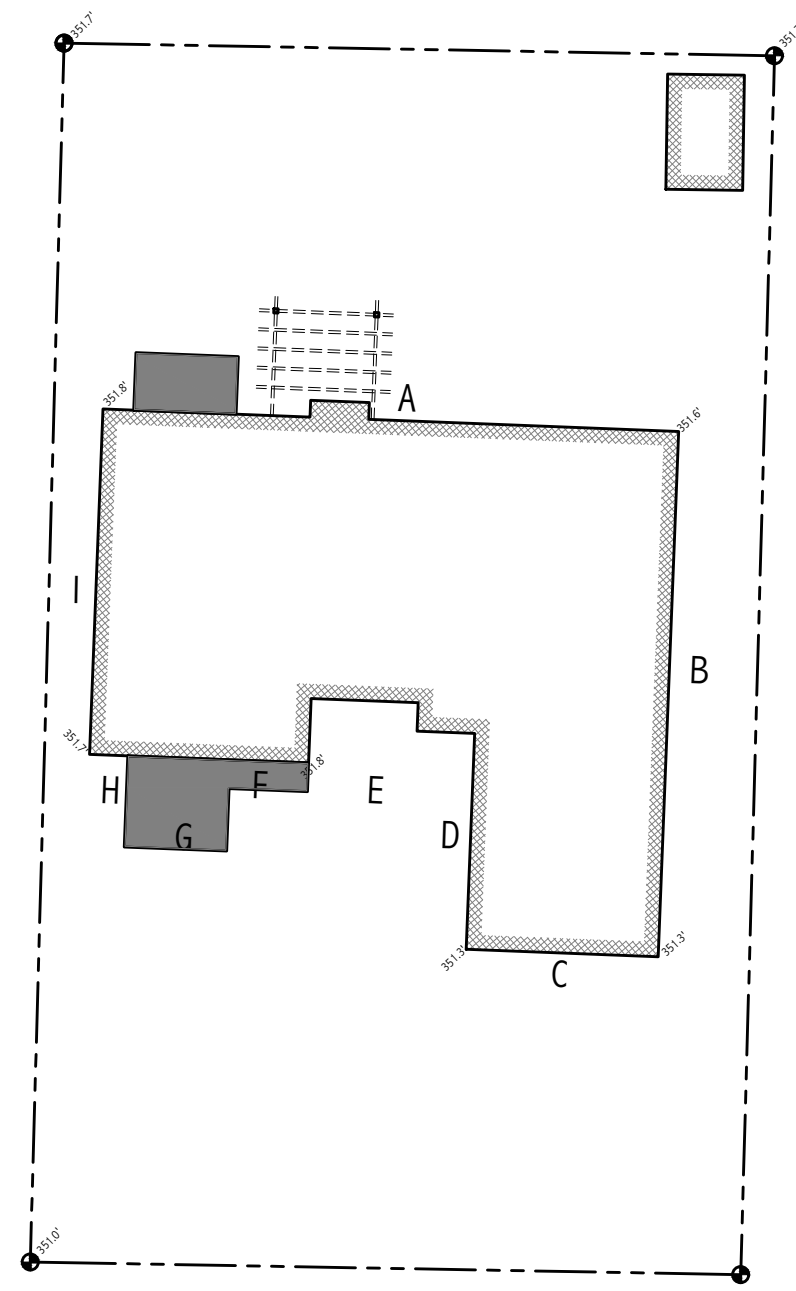
SKETCH
1"=20"



4 ROOF PLAN
1/8" = 1'-0"



1 SITE PLAN
1"=10"

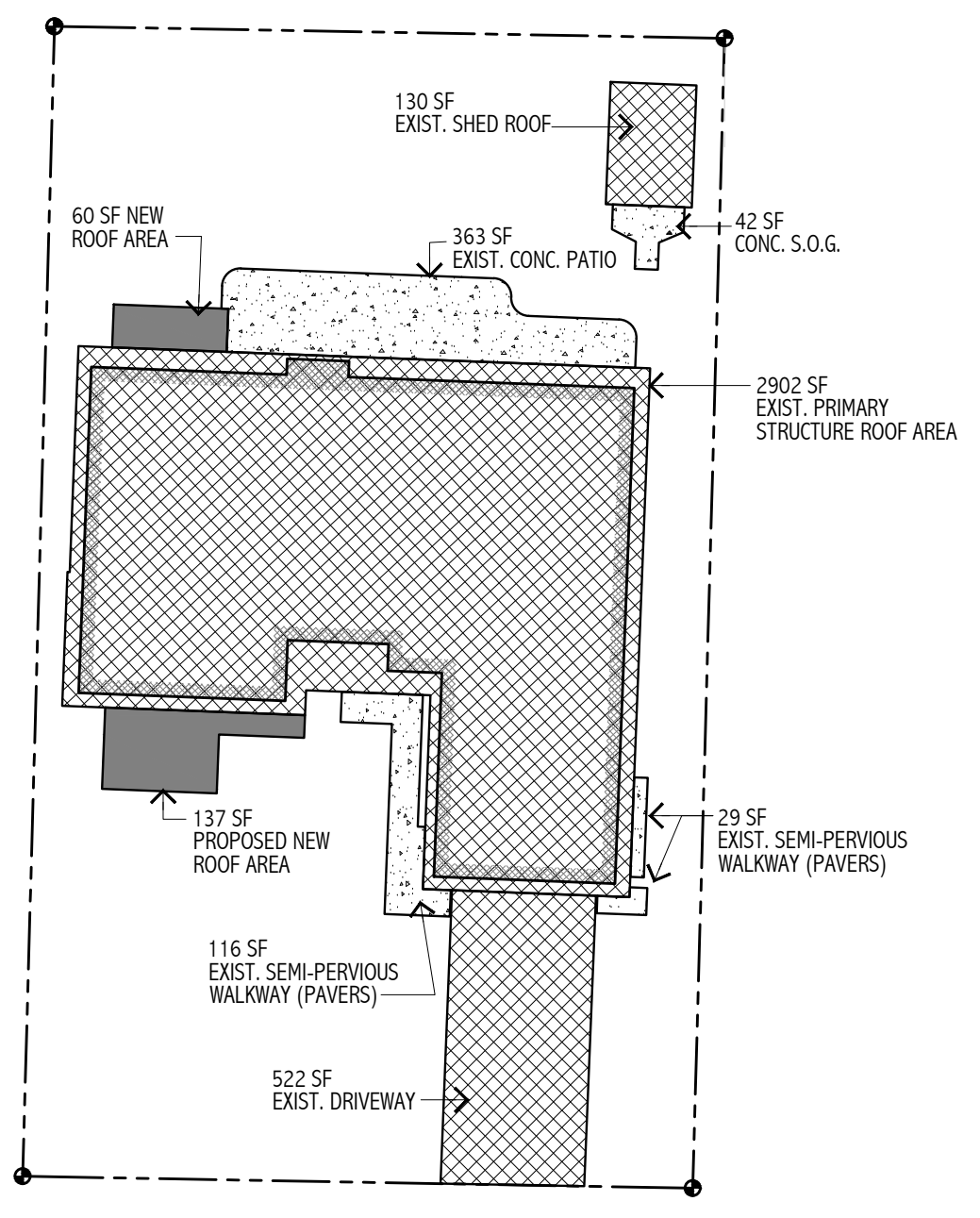


3 A.B.E. DIAGRAM
1"=20"

I.D.	ELEV. ALL LENGTH
A	351.5 60.0
B	351.3 54.8
C	351.3 20.0
D	351.4 20.0
E	351.8 17.0
F	351.8 5.5
G	351.8 12.0
H	351.8 5.5
I	351.8 36.0

ELEVS. x WALL LENGTHS 81110.7
TOTAL WALL LENGTH 230.8
A.B.E. 351.5

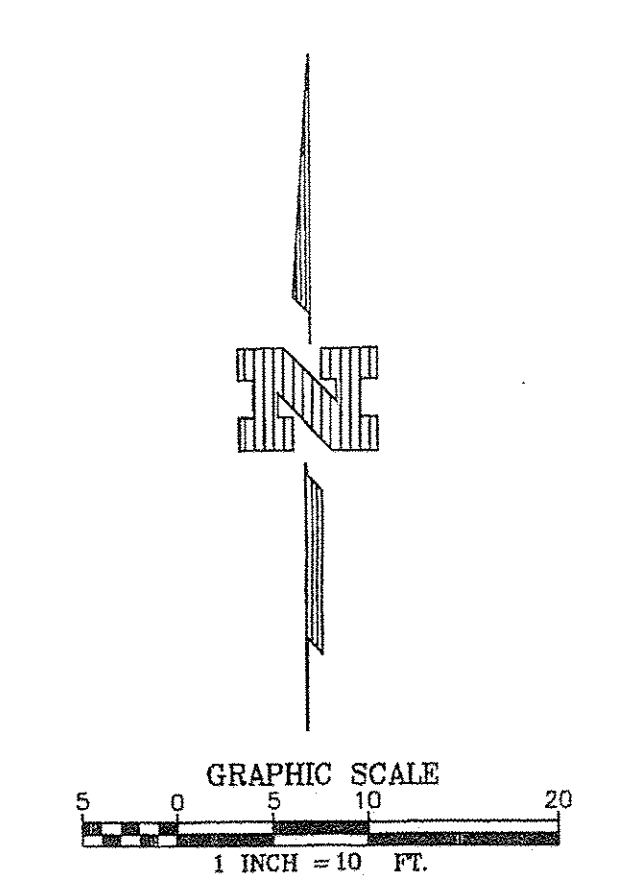
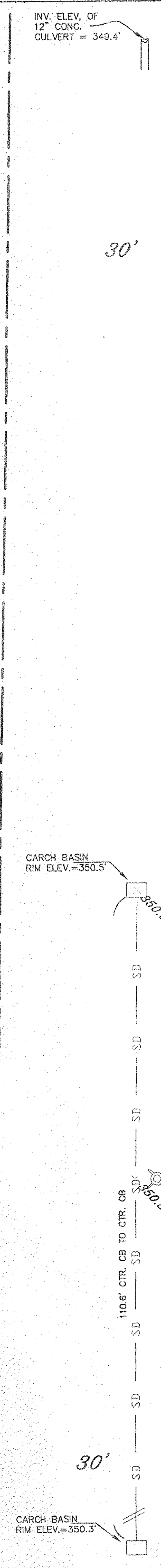
LOT AREA	9398
MERCER ISLAND ZONING R-9.6	
LOT COVERAGE (40% ALLOWABLE)	
EXIST. MAIN STRUCTURE ROOF AREA	2902
EXIST. ACCESSORY BLDG. ROOF AREA	130
EXIST. DRIVEWAY	522
EXIST. LOT COVERAGE TOTAL	3554
EXIST. LOT COVERAGE %	38%
PROPOSED ADDITION ROOF AREA	197
PROPOSED NEW LOT COVERAGE TOTAL	3751
COMPLETED TOTAL LOT COVERAGE	3751
COMPLETED LOT COVERAGE %	39.9%
HARDSCAPE (9% ALLOWABLE)	
EXIST. WALKWAYS	187
EXIST. PATIO	379
TOTAL EXIST. HARDSCAPE	566
TOTAL HARDSCAPE % (UNCHANGED)	6%



2 LOT COVERAGE DIAGRAM
1"=20"

89TH AVE. S.E.

30' 30'



- LEGEND:**
- IRON PIPE IN ASPHALT, DN .5' (TYP)
 - EXISTING 3/4" IRON PIPE W/CAP 20764
 - SET 1/2" REBAR AND CAP "L.S. 20764"
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - EDGE OF ASPHALT PAVING
 - EDGE OF CONCRETE
 - PHONE STACK
 - UTILITY POLE ANCHOR
 - SANITARY SEWER MANHOLE
 - STORM DRAIN CATCH BASIN
 - UTILITY POLE
 - WATER VALVE
 - WATER METER
 - FIRE HYDRANT
 - GAS METER
 - GAS VALVE
 - ELEVATION AT NEAREST "X"

LEGAL DESCRIPTION

THE NORTH 74 FEET OF THE SOUTH 148 FEET OF THAT PORTION OF LOTS 13 AND 14 IN BLOCK 10 OF ALLVIEW HEIGHTS ADDITION TO SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 16 OF PLATS, PAGE 20, IN KING COUNTY WASHINGTON, LYING WESTERLY OF THE ALLEY IN SAID BLOCK, AND LYING NORTHERLY OF THE FOLLOWING DESCRIBED LINE:

BEGINNING AT THE WEST QUARTER CORNER OF SECTION 18 IN TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY WASHINGTON;

THENCE S 88° 24' 24" E ALONG THE EAST AND WEST CENTERLINE OF SAID SECTION 18, A DISTANCE OF 1,684.33 FEET TO THE EASTERLY MARGIN OF 89TH AVE. S.E. RIGHT OF WAY PRODUCED NORTHERLY FROM BLOCKS 3 AND 10 OF SAID ALLVIEW HEIGHTS ADDITION TO SEATTLE;

THENCE S 01°08'36" W 1,715.62 FEET TO THE POINT OF BEGINNING OF THIS LINE;

THENCE S 88°45'08" E 127.06 FEET TO THE WEST LINE OF SAID ALLEY IN SAID BLOCK AND THE TERMINUS OF SAID LINE;

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON. (BEARINGS FROM THE LEGAL DESCRIPTION HAVE BEEN ROTATED TO MATCH RECORDS OF SURVEYS FILED IN THIS AREA BY JONES BASSI AND ASSOC. LAND SURVEYING.)

VERTICAL DATUM

MEAN SEA LEVEL PER CITY OF MERCER ISLAND G.I.S./SEWER AS-BUILT MAP
 SAN. SEWER M.H. 4-147
 INVERT ELEVATION = 344.54'
 S. RIM ELEVATION = 353.04' (SITE BENCH MARK)
 M.H. IS LOCATED IN 89TH AVE. S.E. 190' NORTH OF N/4 LOT LINE

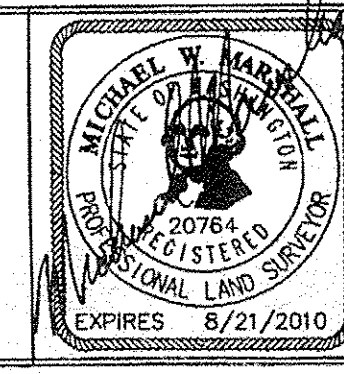
- NOTES**
- ELEVATIONS, TREE LOCATIONS AND OTHER TOPOGRAPHIC INFORMATION SHOWN ARE FROM EDM MEASUREMENTS. WITH THE EXCEPTION OF CONTOUR LINES, THE PURPOSE OF THIS METHOD CAN NORMALLY BE EXPECTED TO BE ACCURATE WITHIN 0.5 OF A FOOT HORIZONTALLY. HOWEVER, THERE IS ALWAYS THE POSSIBILITY OF A FEW ERRORS IN THE OFFICE PLOTTING OF THE TOPOGRAPHIC INFORMATION UNLESS EACH POINT IS LOCATED FROM 2 DIFFERENT SURVEY CONTROL STATIONS. IT WOULD BE ADVISABLE TO MAKE A PROPOSED IMPROVEMENTS ON THE GROUND BEFORE FINAL PLANS AND CONTRACTS ARE ACCURACY OF THE TOPOGRAPHIC INFORMATION IN RELATION TO THE PROPOSED CONSTRUCTION.
 - THE DRAWING SHOWN HEREON DOES NOT NECESSARILY CONTAIN ALL OF THE INFORMATION BY THE SURVEYOR IN HIS FIELD WORK, OFFICE WORK, OR RESEARCH.
 - THE BOUNDARY CORNERS AND LINES DEPICTED ON THIS MAP ARE PER RECORD TITLE IN LINES ONLY. THEY DO NOT PURPORT TO SHOW OWNERSHIP LINES THAT MAY OTHERWISE BE DE.
 - SUBJECT TO EASEMENTS, UTILITIES, RESTRICTIONS, RESERVATIONS, COVENANTS, AGREEMENTS, ORDINANCES, IF ANY, NOT SHOWN HEREON.
 - THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT, THEREFORE TO SHOW ANY EASEMENTS, RESTRICTIONS, COVENANTS, OR ENCUMBRANCES OF RECORD THAT MAY

SURVEY NOTES

THE INTENTION OF THE STREET RIGHT OF WAYS WITHIN THE PLAT OF ALLVIEW HEIGHTS IS TO HOLD THE BLOCK LINES PARALLEL WITH THE NORTH LINE AND THE WEST LINE OF THE S.W. CORNER OF SEC. 18, T.24N., R.5E., W.M. IT IS FOR THIS REASON THAT THE BEARING CALLS FROM THE LEGAL DESCRIPTION HAVE BEEN SUPERSEDED. THE ACCEPTED MONUMENTATION WITHIN THE PLAT ITSELF PERPETUATES A MINUSCULE AMOUNT OF ERROR THAT IS ADDRESSED THROUGH THE PROPORTIONING OF BLOCK AND LOT SIZE.

REVISION	APPR

T.M.M. 1-14-2010 M.W.W.
 Drawn by Approved by
 T.M.M. 1"=10'
 Checked by: Scale



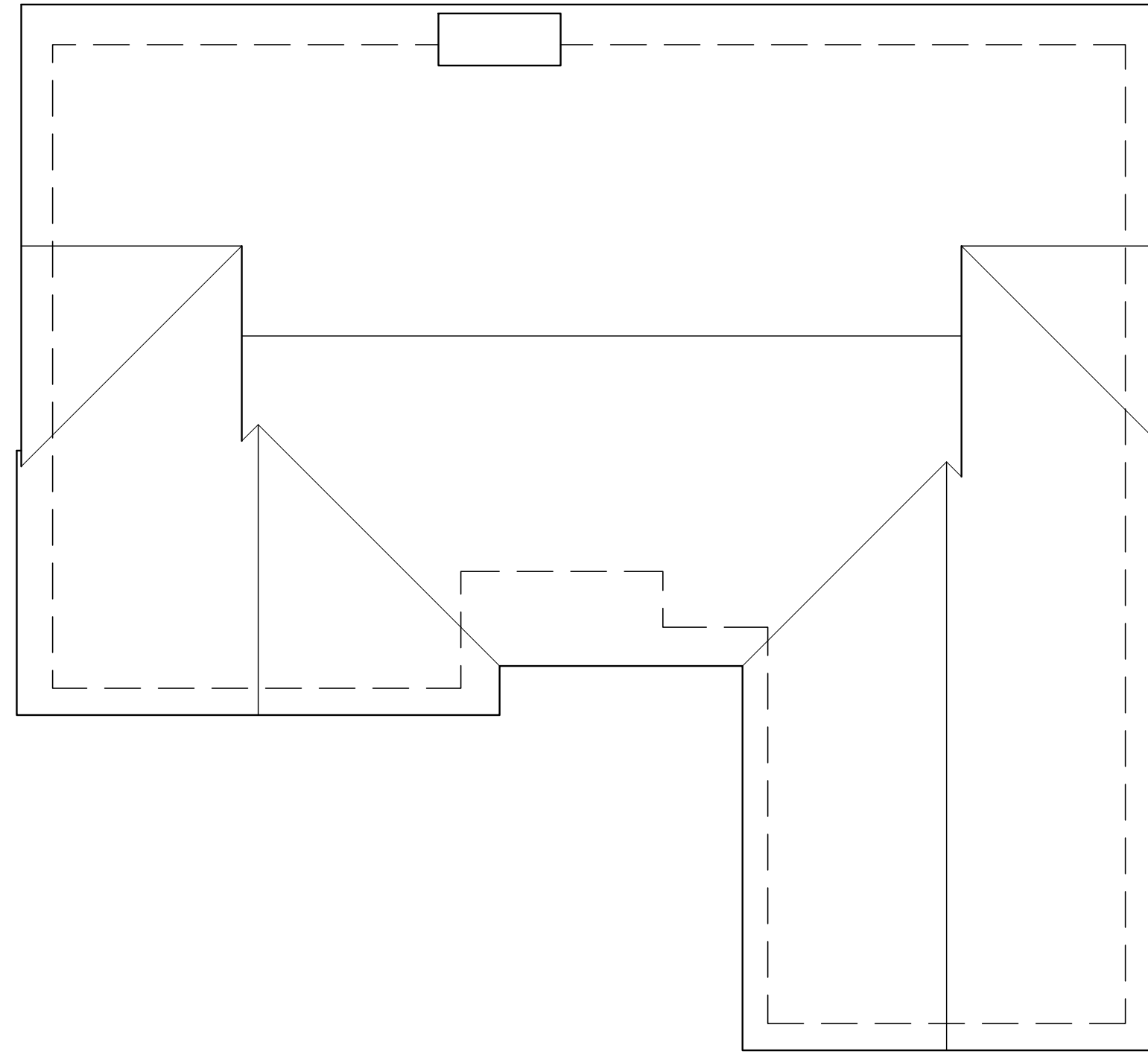
M. W. MARSHALL
 PROFESSIONAL LAND SURVEYOR

7834 S.E. 32ND ST. MERCER ISLAND, WASHINGTON 98040 TEL: (206) 232 - 5282

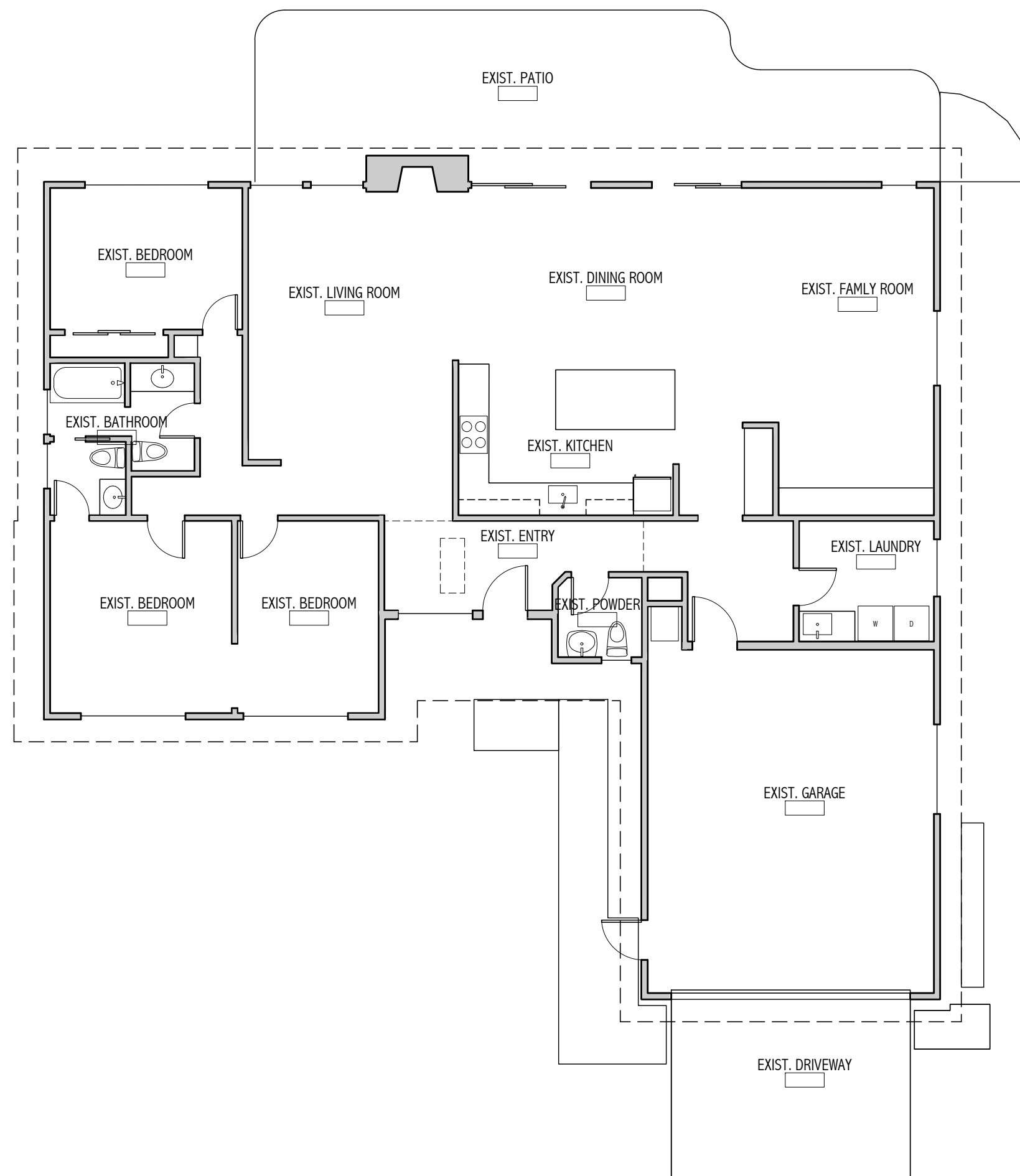
DOUGLAS HOLTAN
 4626 89TH AVE. S.E.
 MERCER ISLAND WA 98040

TOPOGRAPHIC SURVEY
 OF
A PORTION OF LOTS 13 AND 14
IN BLOCK 10 OF ALLVIEW HEIGHTS

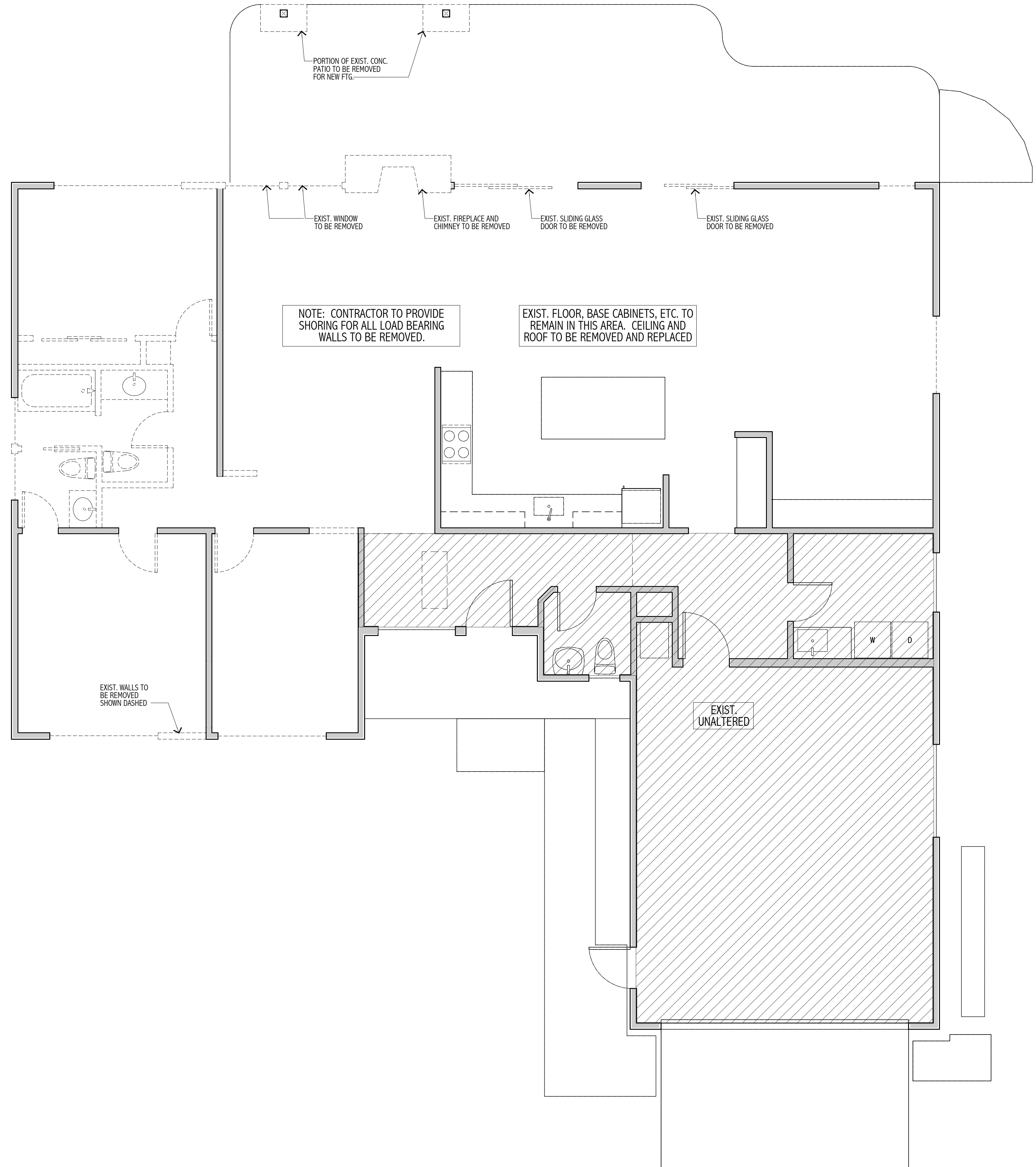
JG. 4. SHEET 1



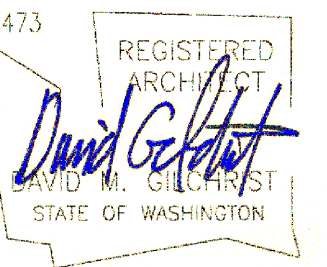
3 EXISTING ROOF PLAN
1/8" = 1'-0"

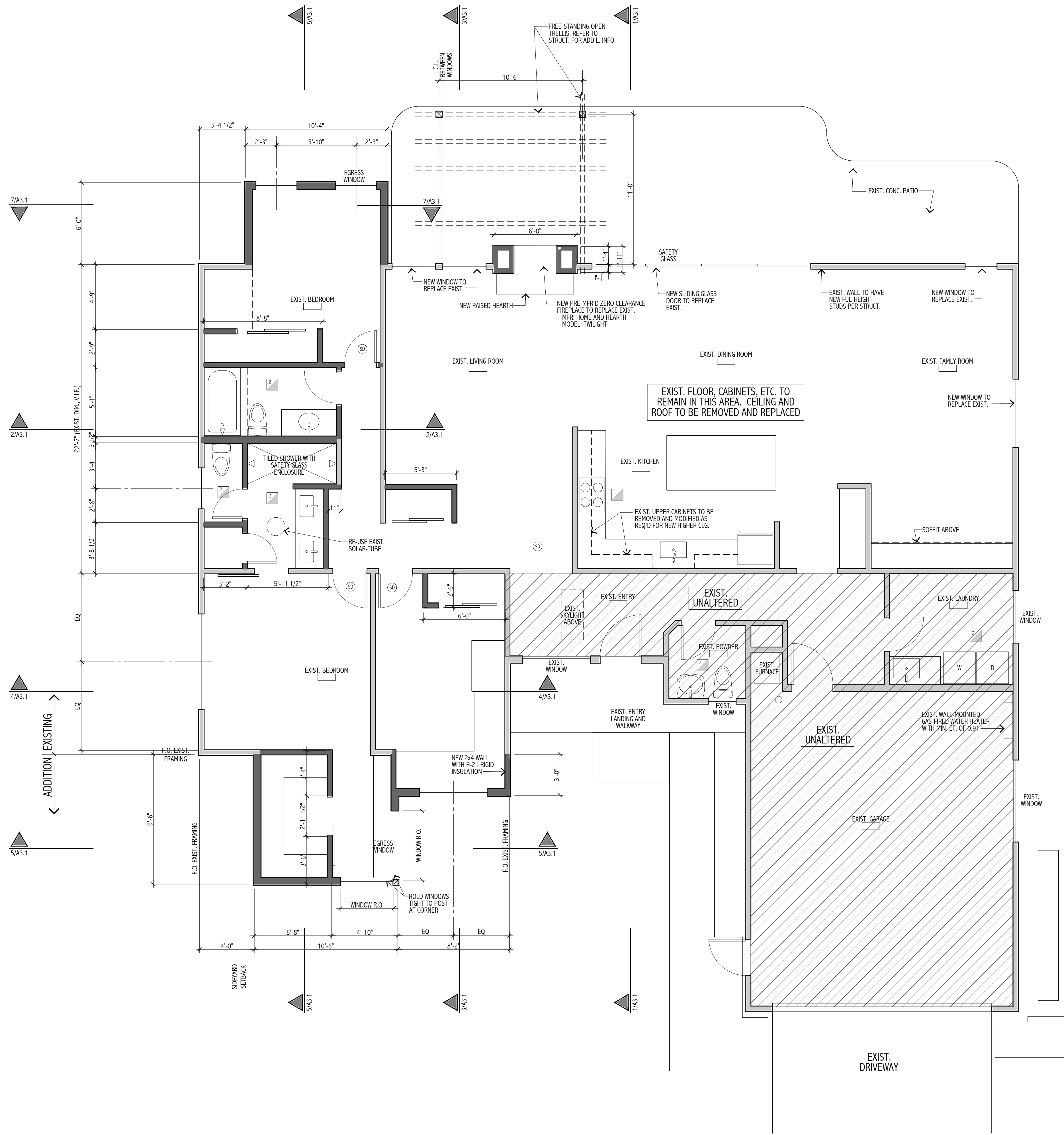


2 EXISTING FLOOR PLAN
1/8" = 1'-0"



1 DEMO PLAN
1/4" = 1'-0"





1 MAIN LEVEL PLAN
1/4" = 1'-0"

GENERAL NOTES

IF ERRORS, OMISSIONS OR CONFLICTS IN THESE DOCUMENTS ARE FOUND OR SUSPECTED, NOTIFY THE DESIGNER IMMEDIATELY AT THE ADDRESS OR TELEPHONE NUMBER SHOWN. CONTRACTOR TO VERIFY ALL DIMENSIONS AT THE SITE. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS, LOCATION, AND DISPOSITION OF EXISTING UTILITIES AND EASEMENTS. FOR ACCURATE DIMENSIONS, DO NOT SCALE DRAWINGS.

INFORMATION, INCLUDING NOTES AND DIMENSIONS, ON REPETITIVE DETAILS MAY BE INDICATED ONLY IN ONE LOCATION. AT OTHER LOCATIONS WHERE DETAILING OR CONSTRUCTION IS SIMILARLY IMPLIED, PROVIDE SAME CONSTRUCTION.

UNLESS NOTED OTHERWISE (UNO):
 - DIMS. FOR CONC. ARE TO FACE OF CONC.
 - DIMS. FOR WOOD STUD FRAMING ARE TO FACE OF STUD
 - DIMS. FOR CABINETS ARE TO FACE OF FINISH WALL AND CABINET BOXES

WINDOWS:
 - ALL WINDOWS ARE TO BE INSULATED GLASS AND SHALL HAVE A "U" FACTOR RATING PER ENERGY CODE NOTES
 - ALL GLAZING LESS THAN 18" ABOVE FLOOR LINE AND/OR WITHIN 24" OF DOORS SHALL BE TEMPERED SAFETY GLASS.
 - ALL OPERABLE WINDOWS WITH SILL HEIGHT 72" OVER EXTERIOR GRADE AND LESS THAN 24" ABOVE INTERIOR FINISH FLOOR SHALL HAVE A GUARD.
 - EGRESS WINDOWS:
 - 44" MAX. SILL HEIGHT
 - 5.7 SF MIN. NET FREE AREA (5.0 SF AT GROUND LEVEL)
 - 24" MIN. OPENING HEIGHT
 - 20" MIN. OPENING WIDTH
 - WINDOW WELLS SHALL HAVE PLAN AREA OF 9 SF WITH MIN. HORIZ. PROJECTION AND WIDTH OF 36"

GLASS IDENTIFICATION LABELS TO REMAIN ON WINDOWS UNTIL INSULATION INSPECTION.
 DOORS:
 - OPAQUE EXTERIOR DOOR SHALL HAVE A U-VALUE RATING PER ENERGY CODE NOTES.
 - GLAZED DOORS ARE TO BE INSULATED, TEMPERED SAFETY GLASS.
 - ALL EXTERIOR DOORS SHALL BE FULLY WEATHER-STRIPPED.
 - ALL EXTERIOR DOORS SHALL HAVE A MAXIMUM 1" THRESHOLD.

SMOKE AND CARBON MONOXIDE ALARMS:
 - SMOKE ALARMS IN AREAS OF NEW CONSTRUCTION SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS.
 - SMOKE ALARMS IN AREAS OF NEW CONSTRUCTION SHALL BE HARDWIRED TO THE PRIMARY BUILDING POWER SOURCE AND HAVE A BATTERY BACK-UP.
 - APPROVED SMOKE ALARMS SHALL BE INSTALLED AS SHOWN ON THE PLAN DRAWINGS AS WELL AS IN THE FOLLOWING LOCATIONS:
 - BEDROOMS.
 - IN THE IMMEDIATE VICINITY OUTSIDE EACH BEDROOM.
 - ON EACH STORY INCLUDING BASEMENTS AND ATTICS.
 - CARBON MONOXIDE ALARMS ARE REQUIRED ON EACH FLOOR AND OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.

FIRE BLOCKING AND DRAFT STOPS:
 - DRAFT STOPS TO BE INSTALLED IN THE FOLLOWING CONDITIONS:
 - ALL FLOOR-CEILING ASSEMBLIES SO THAT CONCEALED SPACES DO NOT EXCEED 1000 SF.
 - ALL INTERCONNECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES.
 - CONCEALED SPACES BETWEEN STAIR STRINGERS AT TOP AND BOTTOM
 - AT OPENINGS IN CEILINGS AND FLOORS AROUND VENTS, PIPES, DUCTS, WIRING, ETC.

FLOOR PLAN NOTES
 1. DO NOT SCALE DRAWINGS. REFER TO WRITTEN DIMENSIONS.
 2. ALL INTERIOR WALLS TO BE 2X4 @ 16" O.C. (U.N.O.)
 3. ALL EXTERIOR WALLS TO BE 2X6 @ 16" O.C. (U.N.O.)
 4. INTERIOR HEADERS PER STRUCTURAL @ HT. FOR DOOR AS NOTED ON FLOOR PLAN.
 5. DOOR SIZES NOTED ARE SLABS NOT ROUGH OPENINGS.
 6. WINDOW AND EXT. DOOR HEADER HEIGHT ARE INDICATED ON THE EXTERIOR ELEVATIONS.
 7. PROVIDE FIRE BLOCKING AT ALL PLUMBING OPENING.
 8. SMOKE DETECTORS SHALL BE INSTALLED IN EACH HABITABLE ROOM AND CENTRALLY LOCATED ON EACH FLOOR. AN ADDITIONAL SMOKE DETECTOR SHALL BE INSTALLED IN EACH LOCATION WHERE THERE IS A CEILING HEIGHT CHANGE GREATER THAN 24". SMOKE DETECTORS TO BE 110V HARDWIRED, INTERCONNECTED, WITH BATTERY BACKUP.
 9. MECHANICAL VENTILATING SYSTEMS IN BATHROOMS, LAUNDRY ROOMS AND SIMILAR ROOMS SHOULD EXHAUST DIRECTLY TO THE OUTSIDE. THE POINT OF DISCHARGE OF EXHAUST AIR SHALL BE AT LEAST THREE FEET FROM ANY OPENING INTO THE BUILDING. WAC VIAQ 51-13.

ENERGY CODE NOTES

- COMPLIANCE METHOD FOR PROPOSED RESIDENCE: 2018 WSEC PRESCRIPTIVE PATH.
- ALL EXIST. WALL, FLOOR AND ROOF AREAS THAT ARE EXPOSED DURING THE COURSE OF CONSTRUCTION ARE TO BE INSULATED TO THE MAXIMUM EXTENT THAT IS REASONABLY FEASIBLE.
- FOR AREAS OF NEW CONSTRUCTION:
 ROOF INSULATION: R-49 (ATTIC)
 ROOF INSULATION: R-38 (VAULTED SINGLE RAFTER)
 WALL INSULATION: R-21
 FLOOR INSULATION: R-30
 WINDOW U-VALUE: 0.30
 SKYLIGHT U-VALUE: 0.30
- REFER TO BUILDING SECTIONS FOR ADDITIONAL EXT. ENVELOPE ASSEMBLY INFORMATION.
- ALL INSULATION TO BE IN SUBSTANTIAL CONTACT WITH SURFACE BEING INSULATED.
- INSULATION R-VALUE SHALL BE VISIBLE EVERY 300 SF.
- NEW DUCTS IN UNCONDITIONED SPACES TO BE INSULATED WITH MIN. R-8.
- 75% OF ALL NEW INDOOR LIGHT FIXTURES SHALL BE EQUIPPED WITH HIGH EFFICACY LAMPS.

HEAT/MECHANICAL NOTES

HVAC PERMIT TO BE A SEPARATE, DEFERRED SUBMITTAL BY CONTRACTOR. SCOPE OF MECHANICAL WORK TO INCLUDE:
 1. MODIFICATION TO EXIST. DUCTWORK AS REQ'D. FOR NEW FLOOR AREAS.

ELECTRICAL NOTES

ELECTRICAL WORK TO BE A SEPARATE, DEFERRED PERMIT SUBMITTAL BY CONTRACTOR.

PLUMBING NOTES

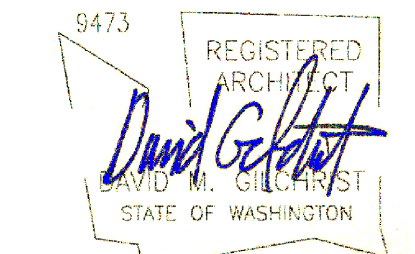
PLUMBING PERMIT TO BE A SEPARATE, DEFERRED SUBMITTAL BY CONTRACTOR.

FLOOR PLAN LEGEND

- EXIST. WALL
- NEW WOOD FRAMED WALL
- BEAM ABOVE
- SMOKE/CARBON MONOXIDE DETECTOR
- LISTED RANGE HOOD 100 CFM (MIN). IF EXHAUST HOOD IS 400 CFM OR MORE, THEN MAKEUP AIR SHALL BE PROVIDED PER IRC SECTION M1503.4
- 50 (MIN.) CFM ON SWITCH
- EXISTING UNALTERED FLOOR AREA

DAVID GILCHRIST architect, LLC
 114 157th Ave NE - Bellevue, Washington 98008 425-417-8492

HOLTAN ADDITION
 4626 80TH AVE SE MERCER ISLAND, WA 98040



DRAWING TITLE
 MAIN LEVEL FLOOR PLAN

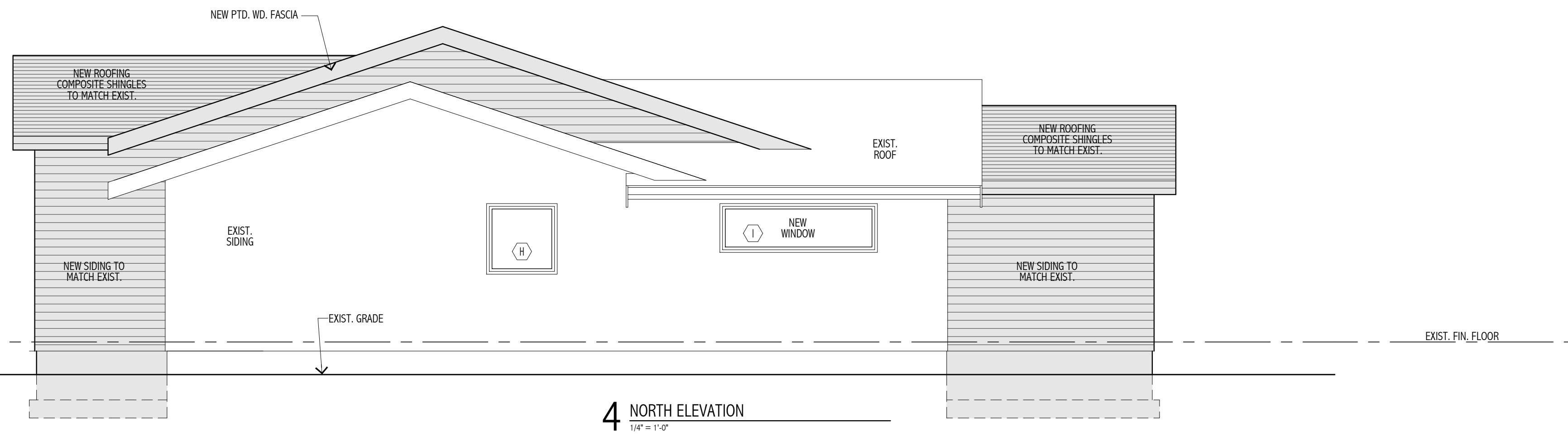
ISSUE
 PERMIT SUBMITTAL 03.22.2021

©Copyright
 208 2020

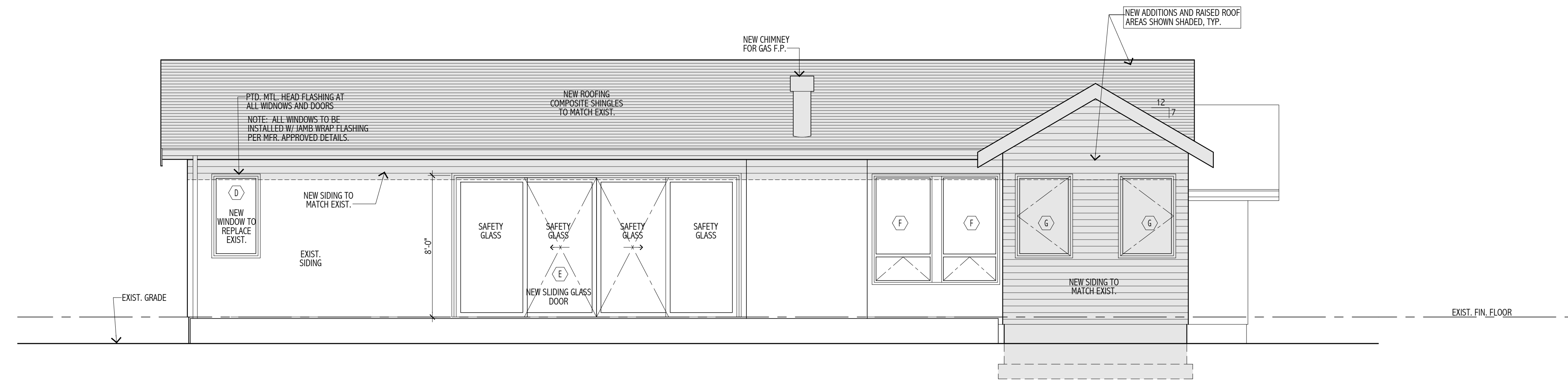
A1.1

WINDOW SCHEDULE NOTE: CONTRACTOR TO VERIFY ALL R.O. AND WINDOW UNIT DIMENSIONS PRIOR TO ORDERING WINDOWS.

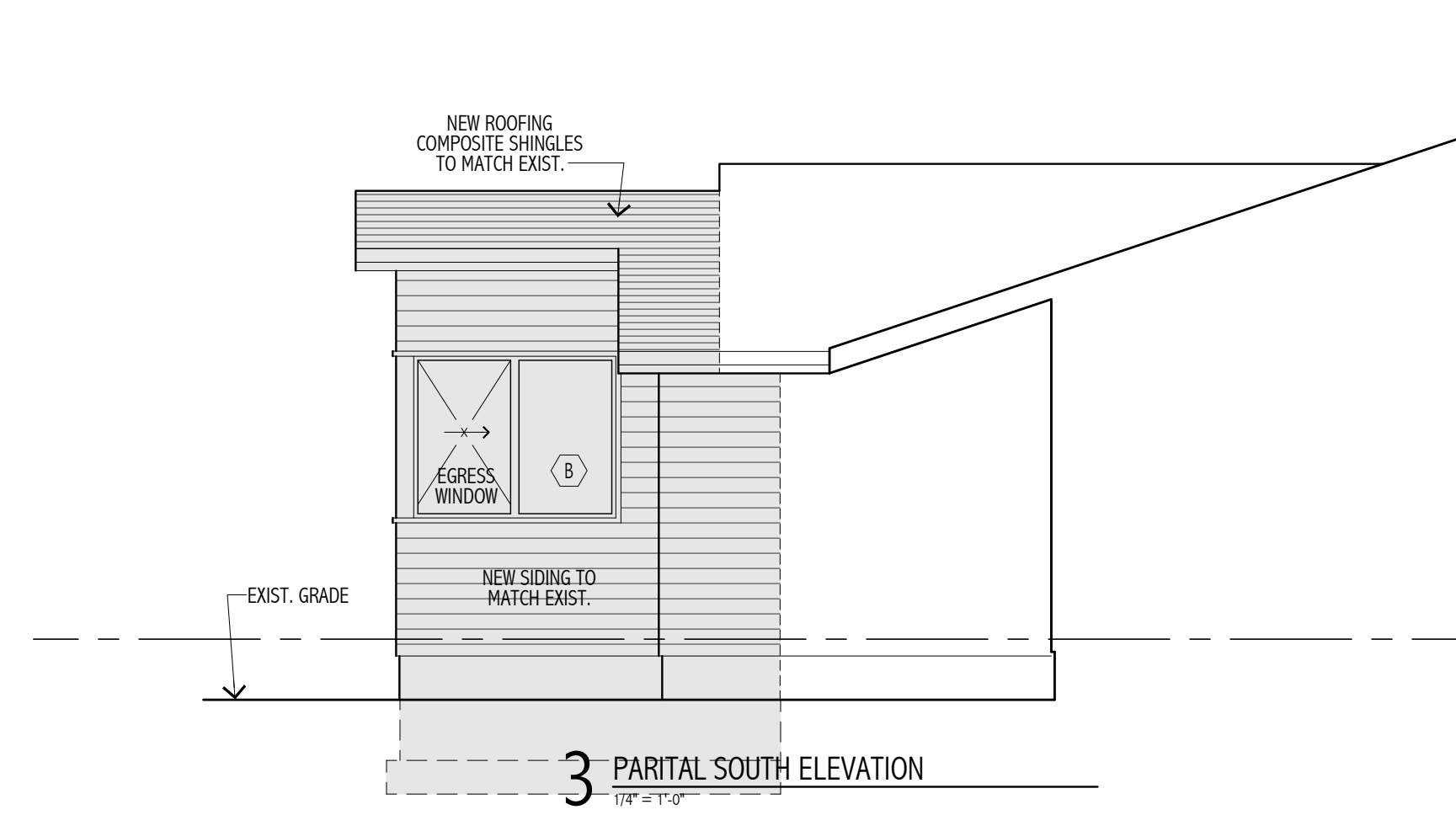
I.D.	QTY	WIDTH	HT	SAFETY	EGRESS	TYPE	U-VAL.	MFR.	MATERIAL	NOTES
A	1	4'-0"	4'-0"			PICTURE	0.30	MILGARD	FIBERGLASS	
B	2	5'-0"	4'-0"		X	HORIZ. SLIDER	0.30	MILGARD	FIBERGLASS	
C	1	5'-0"	5'-0"			HORIZ. SLIDER	0.30	MILGARD	FIBERGLASS	NEW TO REPLACE EXIST., VERIFY R.O. WIDTH IN FIELD.
D	1	2'-6"	4'-6"			PICTURE	0.30	MILGARD	FIBERGLASS	NEW TO REPLACE EXIST., VERIFY R.O. WIDTH IN FIELD.
E	1	16'-0"	8'-0"	X		SLIDING GLASS DOOR	0.30	MILGARD	FIBERGLASS	
F	2	3'-3"	6'-0"			COMPOSITE PICTURE/CASEMENT	0.30	MILGARD	FIBERGLASS	NEW TO REPLACE EXIST., VERIFY R.O. WIDTH IN FIELD.
G	2	3'-0"	4'-6"		X	CASEMENT	0.30	MILGARD	FIBERGLASS	
H	1	3'-0"	3'-0"			PICTURE	0.30	MILGARD	FIBERGLASS	OBSOLETE GLASS, VERIFY W/ OWNER
I	1	7'-0"	2'-0"			PICTURE	0.30	MILGARD	FIBERGLASS	



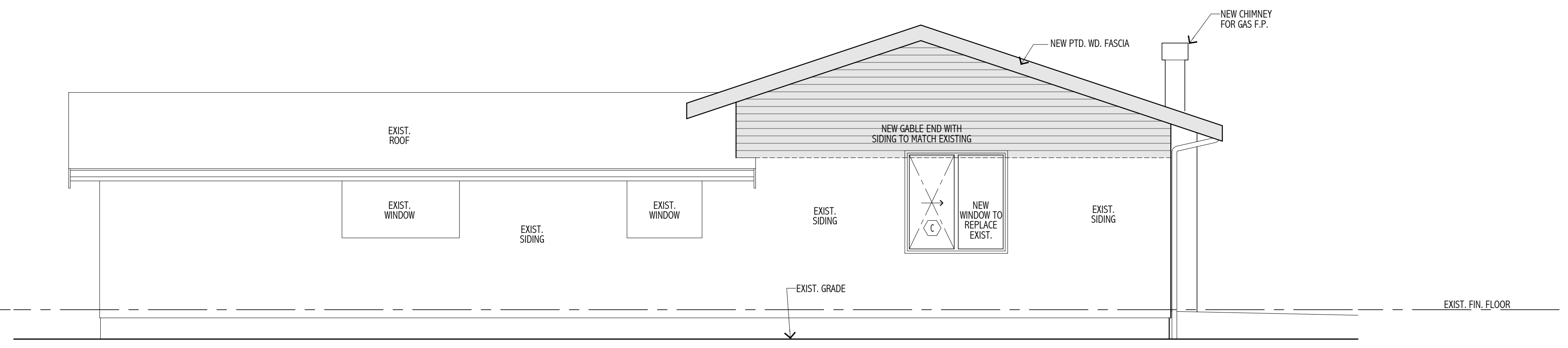
4 NORTH ELEVATION
1/4" = 1'-0"



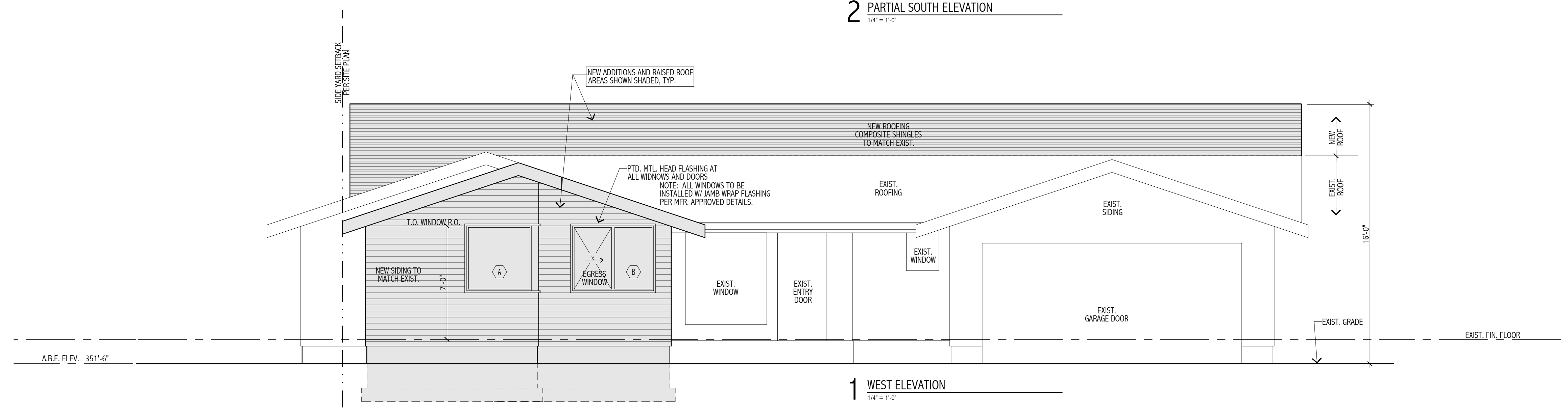
3 EAST ELEVATION
1/4" = 1'-0"



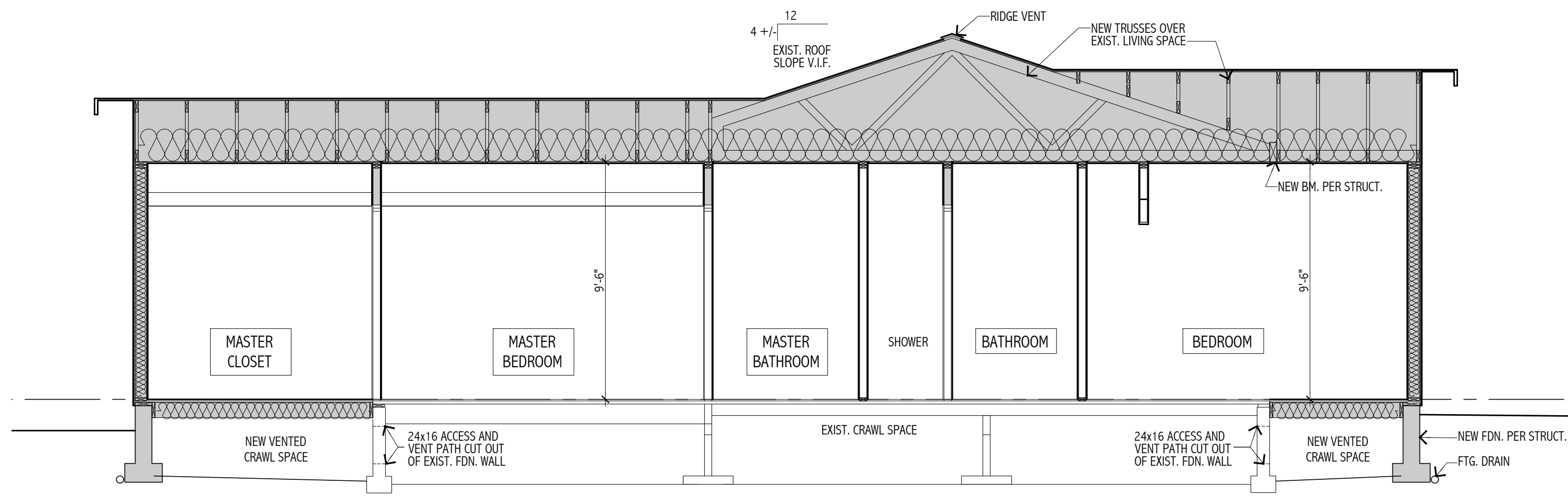
3 PARTIAL SOUTH ELEVATION
1/4" = 1'-0"



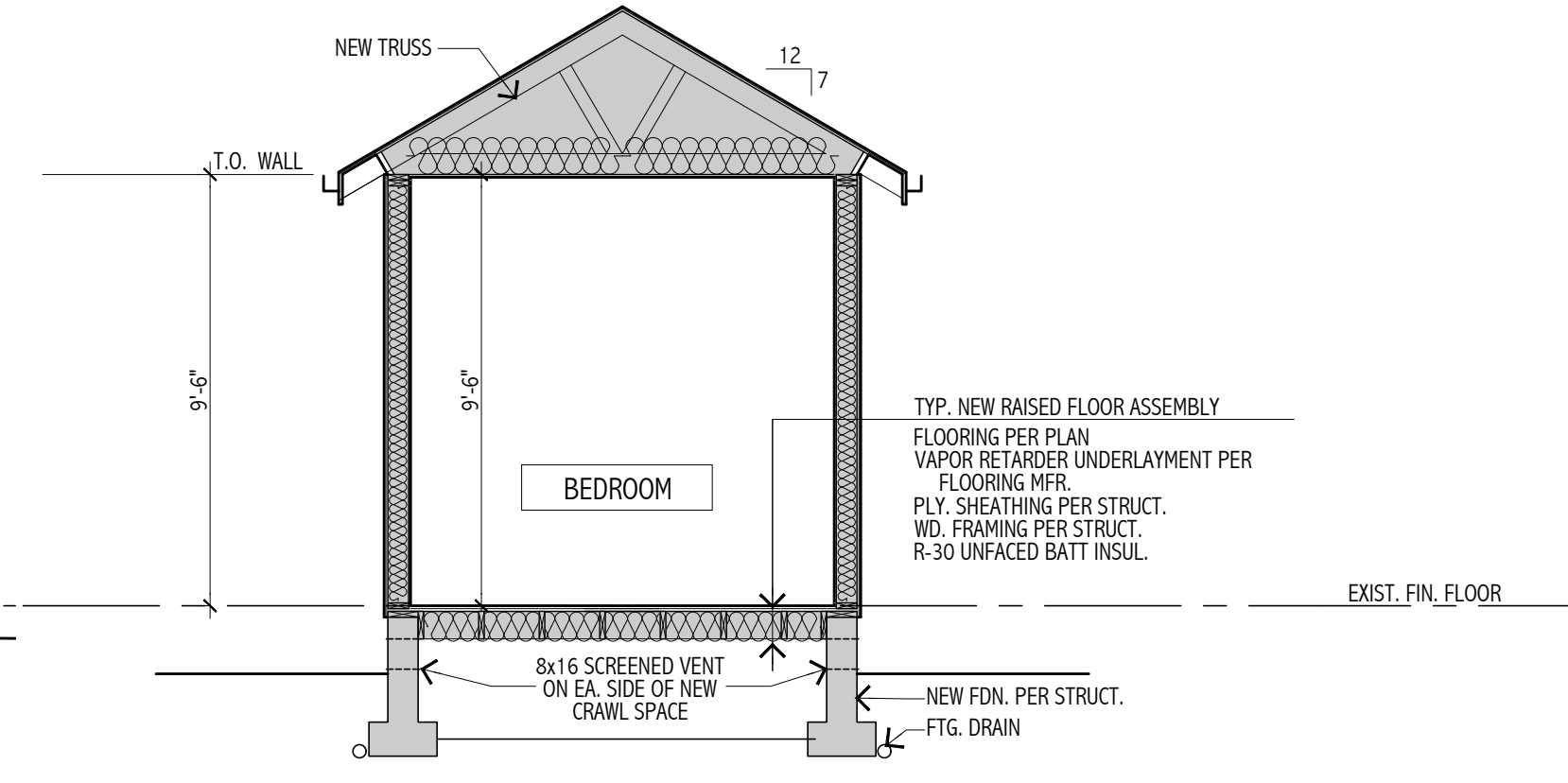
2 PARTIAL SOUTH ELEVATION
1/4" = 1'-0"



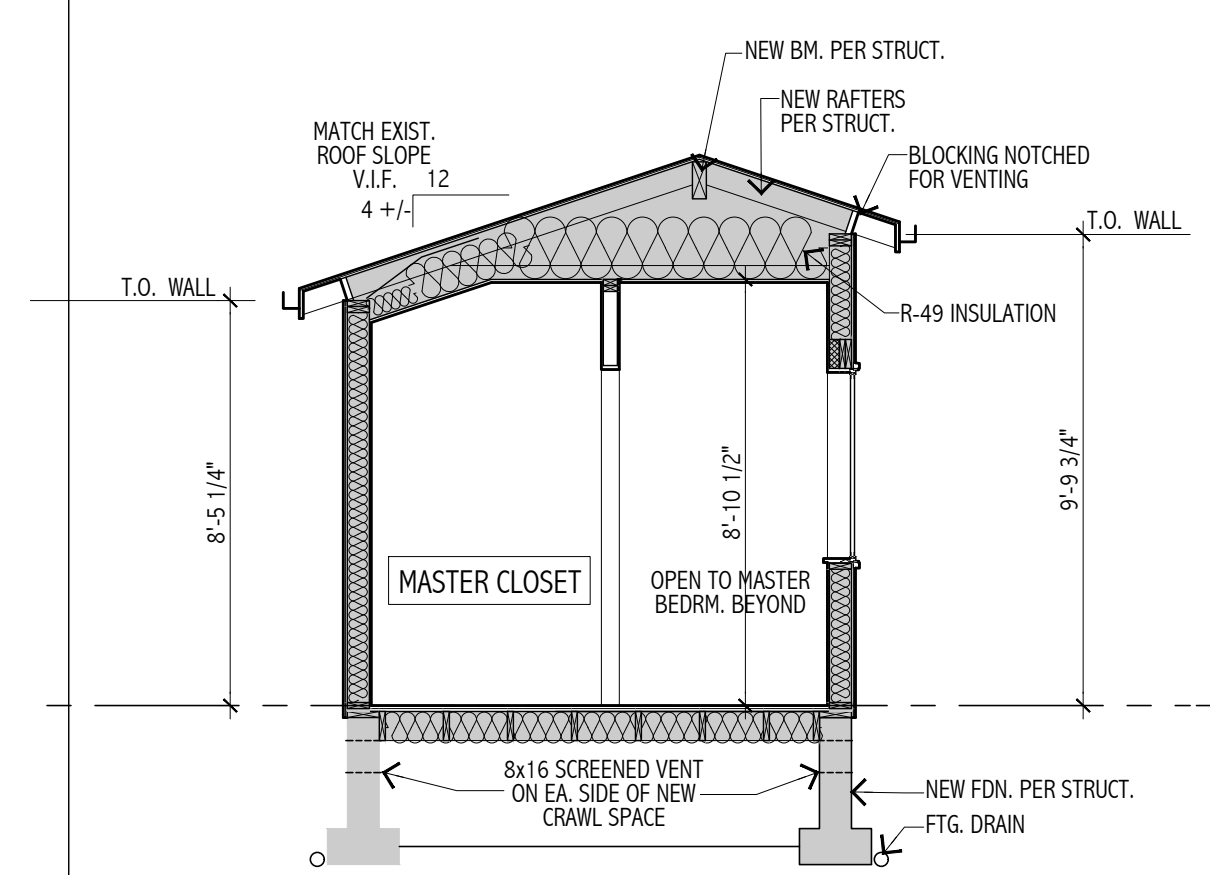
1 WEST ELEVATION
1/4" = 1'-0"



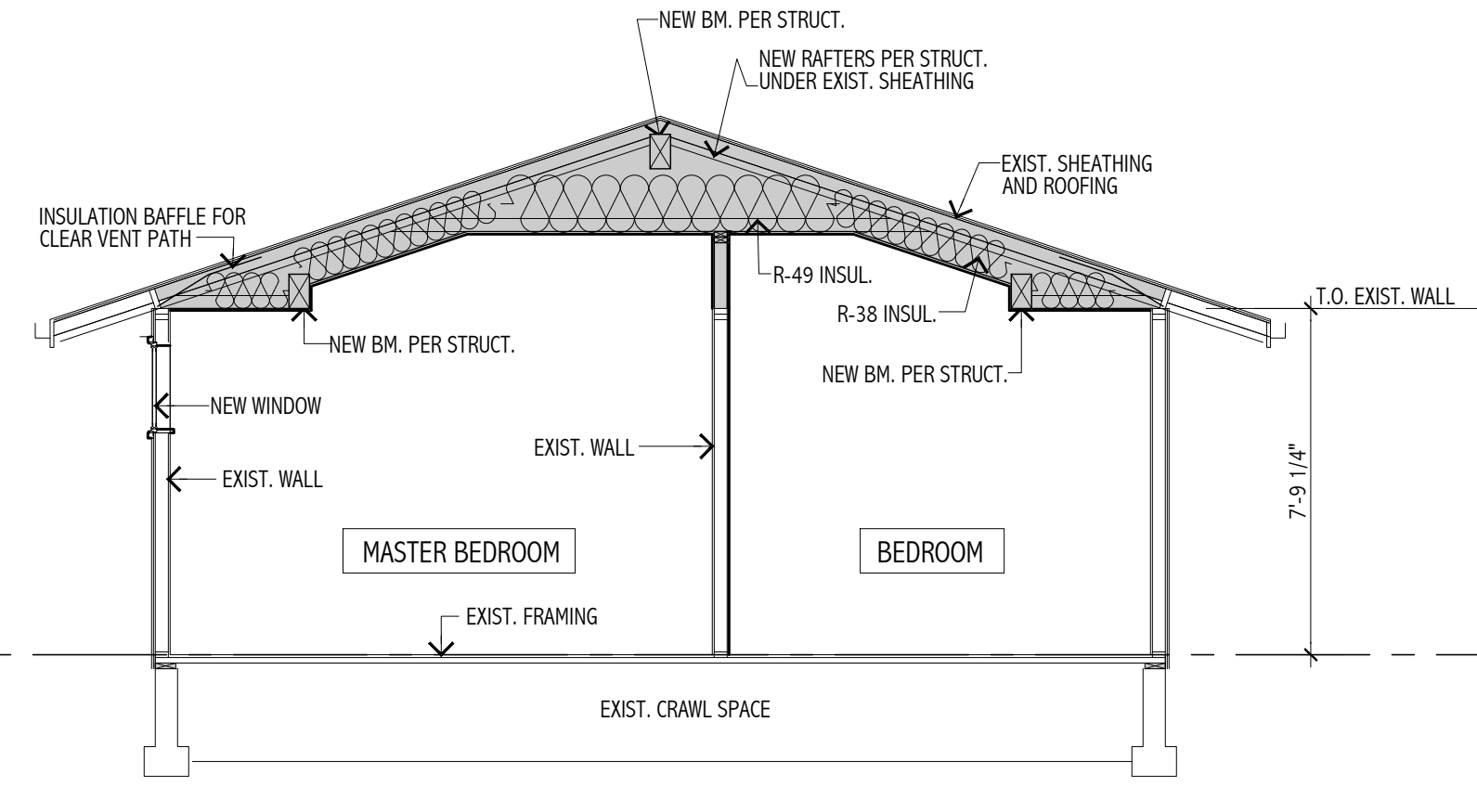
7 BUILDING SECTION
 1/4" = 1'-0"



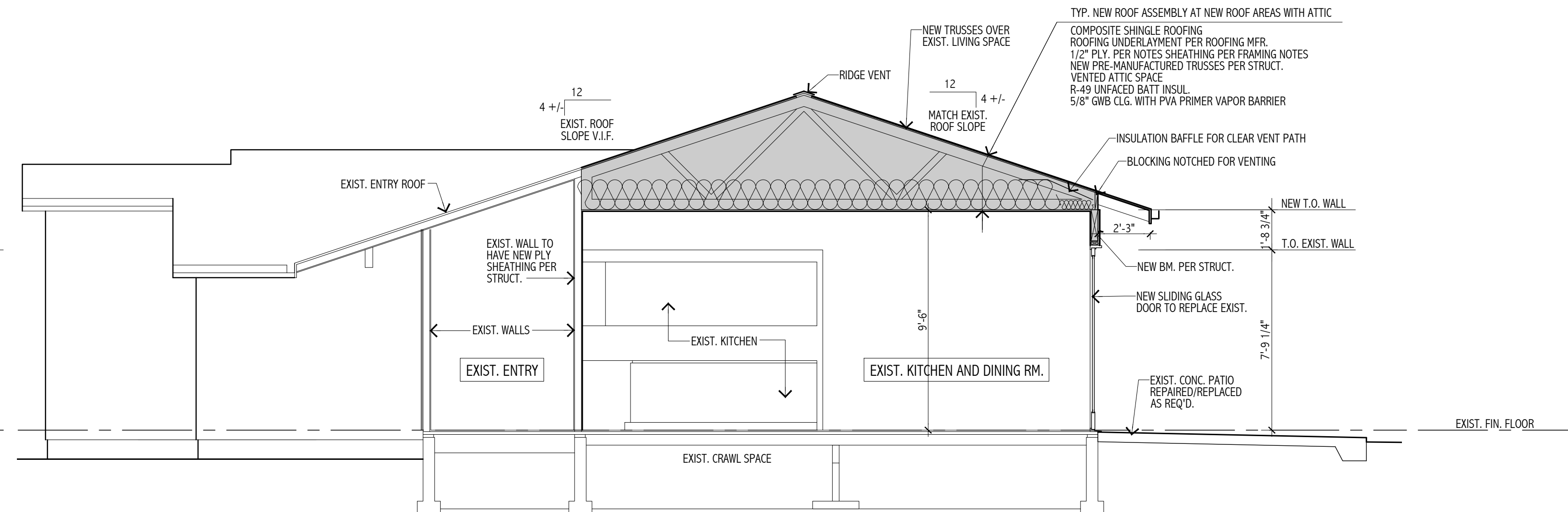
6 BUILDING SECTION
 1/4" = 1'-0"



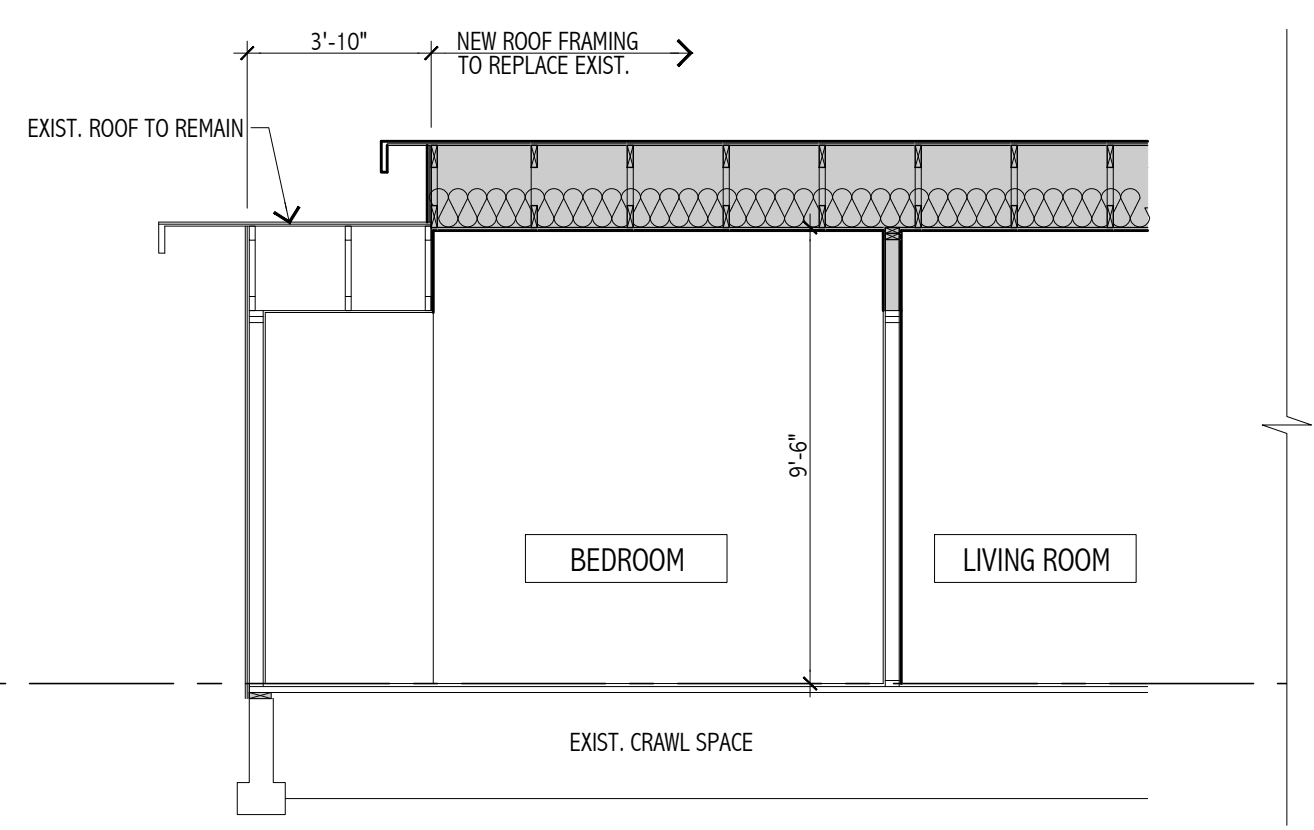
5 BUILDING SECTION
 1/4" = 1'-0"



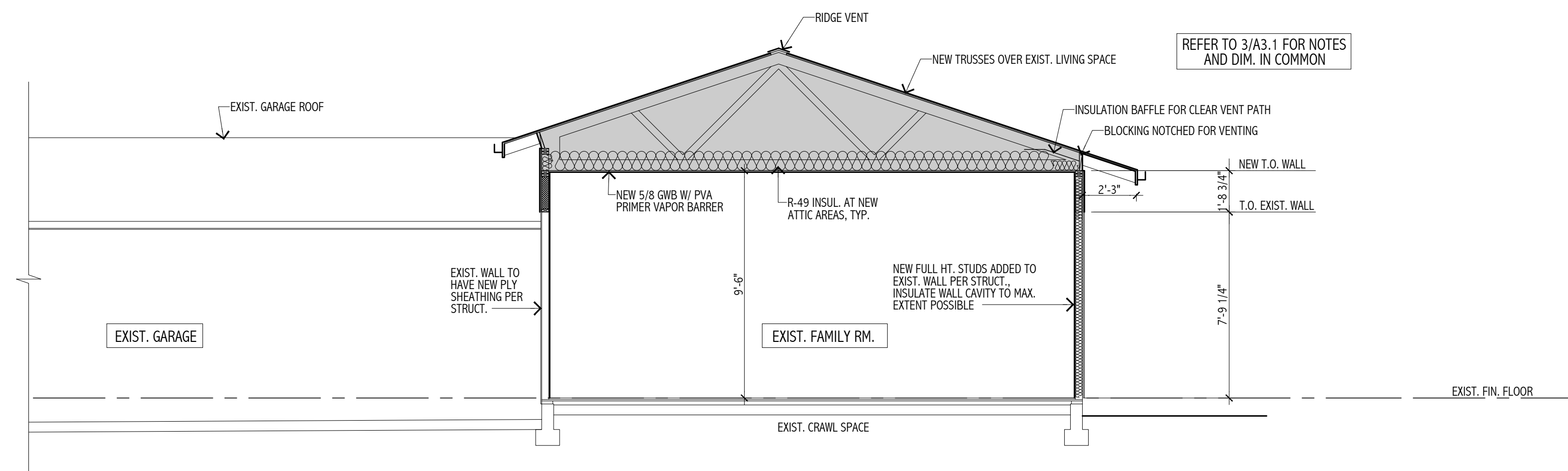
4 BUILDING SECTION
 1/4" = 1'-0"



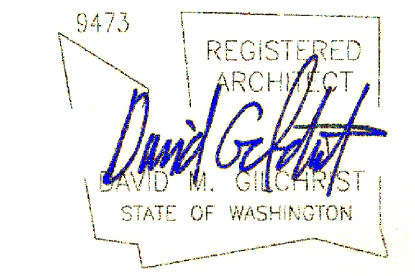
3 BUILDING SECTION
 1/4" = 1'-0"



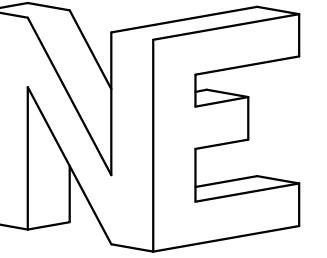
2 BUILDING SECTION
 1/4" = 1'-0"



1 BUILDING SECTION
 1/4" = 1'-0"

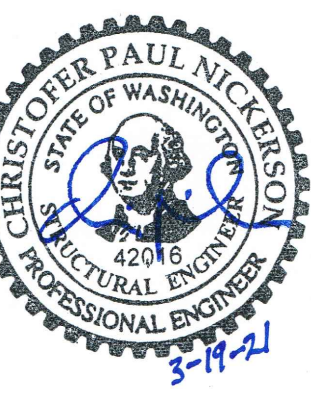


DRAWING TITLE: BUILDING SECTIONS
 ISSUE REVISIONS FOR REVIEW DATE: 11.28.2020

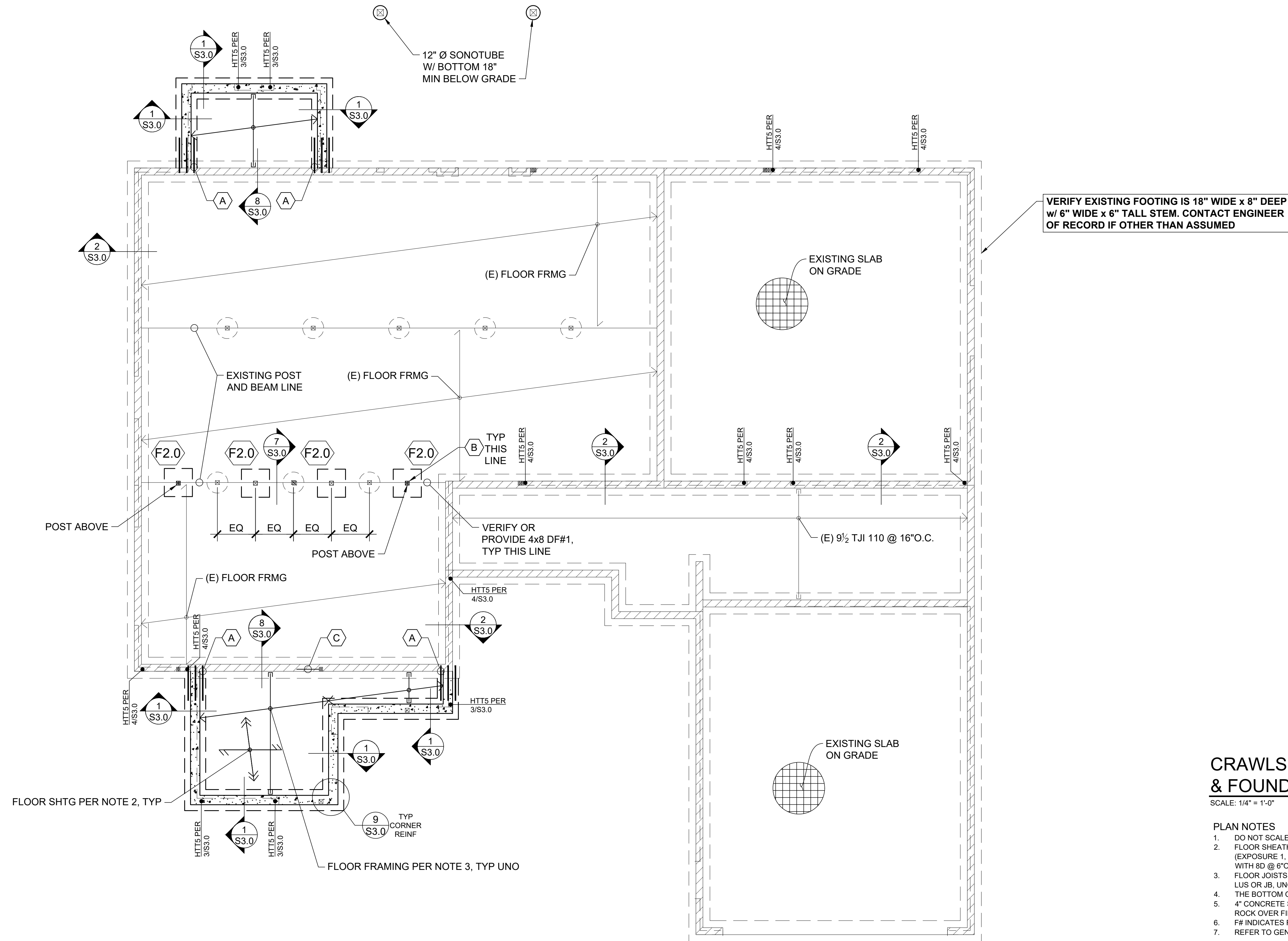


nickerson engineering
2221 Everett Ave #202
Everett, WA 98201
425.610.4425

© Nickerson Engineering, LLC 2020 These drawings were prepared for the "HOLTAN RESIDENCE" project in MERCER ISLAND, WA. They are not intended for use on any other project.
Stated drawing scale is based on 36" x 24" sheet.



HOLTAN RESIDENCE
4626 89TH AVE SE
MERCER ISLAND, WA 98040



CRAWLSPACE FRAMING & FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

PLAN NOTES

- DO NOT SCALE DRAWINGS. REFER TO ARCH DWGS FOR ALL DIMENSIONS.
- FLOOR SHEATHING SHALL BE 3/4" TONGUE AND GROOVE A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 48/24). GLUE AND NAIL @ ALL FRAMED PANEL EDGES WITH 8D @ 6" OC AND TO ALL INTERMEDIATE FRAMING @ 12" OC
- FLOOR JOISTS SHALL BE 2x8 @ 16" OC TYPICAL JOIST HANGERS TO BE SIMPSON LUS OR JB, UNO.
- THE BOTTOM OF ALL EXTERIOR FTGS SHALL BE 18" MINIMUM BELOW GRADE.
- 4" CONCRETE SLAB OVER 6 MIL VAPOR BARRIER ON 6" OF GRAVEL OR CRUSHED ROCK OVER FIRM UNDISTURBED SOIL OR ENGINEERED COMPACTED BACK-FILL.
- F# INDICATES FOOTING MARK. SEE FOOTING SCHEDULE FOR SIZE & REINFORCING.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

HATCH LEGEND	
	NEW CONCRETE WALLS BELOW
	EXISTING CONCRETE WALLS BELOW

FOOTING SCHEDULE		
MARK	SIZE	REINFORCEMENT
F2.0	2'-0" x 2'-0" x 8" DP	(2)#4 EW 3" FROM BOT
F2.5	2'-6" x 2'-6" x 10" DP	(3)#4 EW 3" FROM BOT
F3.0	3'-0" x 3'-0" x 10" DP	(4)#4 EW 3" FROM BOT

KEYNOTES

- (A) PROVIDE #4x2'-6" DOWELS EMBEDDED 5" MIN INTO EXISTING CONCRETE TO MATCH NEW HORIZ WALL & FTG REINF QTY AND SPACES, EPOXY w/ AT-XP HIGH STRENGTH EPOXY AS MANUF. BY SIMPSON, TYP
- (B) PT 4x4 w/ PC4 @ TOP & ABA POST BASE BELOW
- (C) SAW CUT EXISTING CONCRETE FOR 18"x24" CRAWLSPACE ACCESS, LOCATION PER ARCH. SEE DETAIL 5/S3.0

No.	Date	Issue
A	08.14.20	Coordination
B	09.15.20	Coordination
0	03.19.21	Building Permit

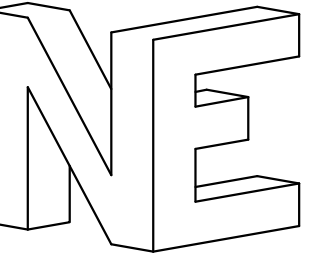
Sheet Contents
FOUNDATION & CRAWLSPACE FRAMING PLAN

Job No. 20-077

Sheet No.

S2.0

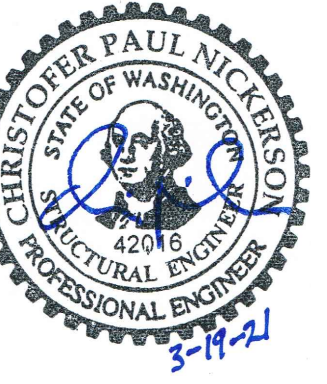




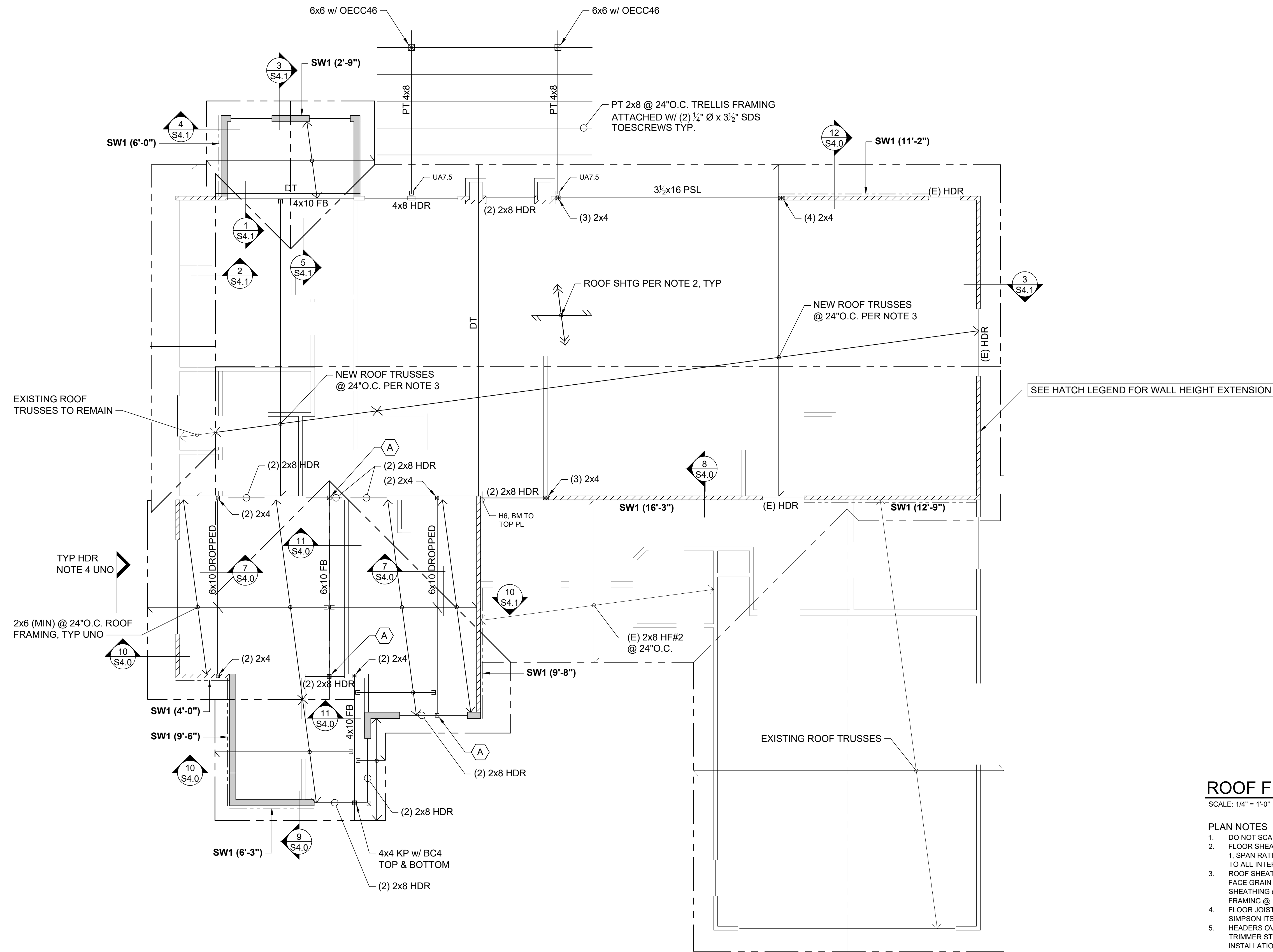
nickerson engineering
2221 Everett Ave #202
Everett, WA 98201
425.610.4425

© Nickerson Engineering, LLC 2020 These drawings were prepared for the "HOLTAN RESIDENCE" project in MERCER ISLAND, WA. They are not intended for use on any other project.

Stated drawing scale is based on 35" x 24" sheet.



HOLTAN RESIDENCE
4626 89TH AVE SE
MERCER ISLAND, WA 98040



EXISTING ROOF TRUSSES TO REMAIN

NEW ROOF TRUSSES @ 24" O.C. PER NOTE 3

NEW ROOF TRUSSES @ 24" O.C. PER NOTE 3

SEE HATCH LEGEND FOR WALL HEIGHT EXTENSION

TYP HDR NOTE 4 UNO

2x6 (MIN) @ 24" O.C. ROOF FRAMING, TYP UNO

EXISTING ROOF TRUSSES

HATCH LEGEND

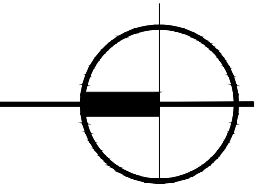
	NEW STRUCTURAL WALLS BELOW
	EXTEND EXISTING WALL HEIGHT (H=9'-6" MAX) BY REMOVING EXISTING TOP PLATE, SISTER NEW STUDS (MATCH OR EXCEED EXISTING STUD SIZE) @ 16" O.C. (MAX). PROVIDE NEW DOUBLE TOP PLATE PER DETAIL 3/S4.0

KEYNOTES

- (A) 4x4 KING POST w/ BC46 @ TOP & BC4 @ BOTTOM

ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



PLAN NOTES

- DO NOT SCALE DRAWINGS. REFER TO ARCH DWGS FOR ALL DIMENSIONS.
- FLOOR SHEATHING SHALL BE 3/4" TONGUE AND GROOVE A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 48/24). GLUE AND NAIL @ ALL FRAMED PANEL EDGES WITH 8d @ 6" OC AND TO ALL INTERMEDIATE FRAMING @ 12" OC.
- ROOF SHEATHING SHALL BE 1/2" A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 32/16), FACE GRAIN PERPENDICULAR TO SUPPORTS OVER ROOF FRAMING PER PLAN. NAIL SHEATHING @ ALL FRAMED PANEL EDGES WITH 8d @ 6" OC AND TO ALL INTERMEDIATE FRAMING @ 12" OC.
- FLOOR JOISTS SHALL BE 11 7/8" TJI 360's @ 16" OC U.N.O. TYPICAL JOIST HANGERS TO BE SIMPSON ITS OR IUS, UNO.
- HEADERS OVER DOOR AND WINDOW OPENINGS SHALL BE (2) 2x8 MINIMUM. PROVIDE (2) TRIMMER STUDS MIN @ EA END OF ALL HEADERS U.N.O. SEE DETAIL 4/S4.0 FOR TYPICAL INSTALLATION.
- PROVIDE (2) STUDS MINIMUM @ EACH END OF ALL BEAMS U.N.O. ON PLANS. BEAR BEAM FULLY ON BUILT UP COLUMN & PROVIDE POSITIVE CONNECTION BY EITHER A35 OR LTP4 CLIPS ON EA SIDE OF BEAM OR W/ AN AG, PC, OR LPC CAP.
- SW# (X'-X") INDICATES SHEAR WALL TYPE AND APPROXIMATE LENGTH. SEE 1/S4.0 FOR CONSTRUCTION REQUIREMENTS.
- ALL EXTERIOR WALLS SHALL BE SW1, U.N.O. ON PLANS.
- TYPICAL TOP PLATE CONSTRUCTION PER 3/S4.0.
- (X)CS16 INDICATES VERTICAL HOLD-DOWN STRAP @ END OF SHEAR WALL ABOVE. (X) INDICATES STRAP QTY. SEE DETAIL 8/S4.0 FOR INSTALLATION REQUIREMENTS.
- DRAGSTRUT (D.S.); PROVIDE PANEL EDGE NAILING ALONG FULL LENGTH OF MEMBER.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

No.	Date	Issue
A	08.14.20	Coordination
B	09.15.20	Coordination
0	03.19.21	Building Permit

Sheet Contents

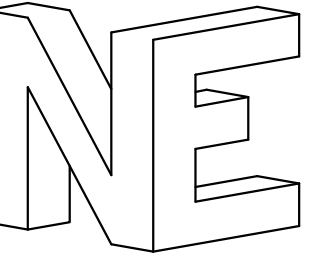
ROOF FRAMING PLAN

Job No. 20-077

Sheet No.

S2.1

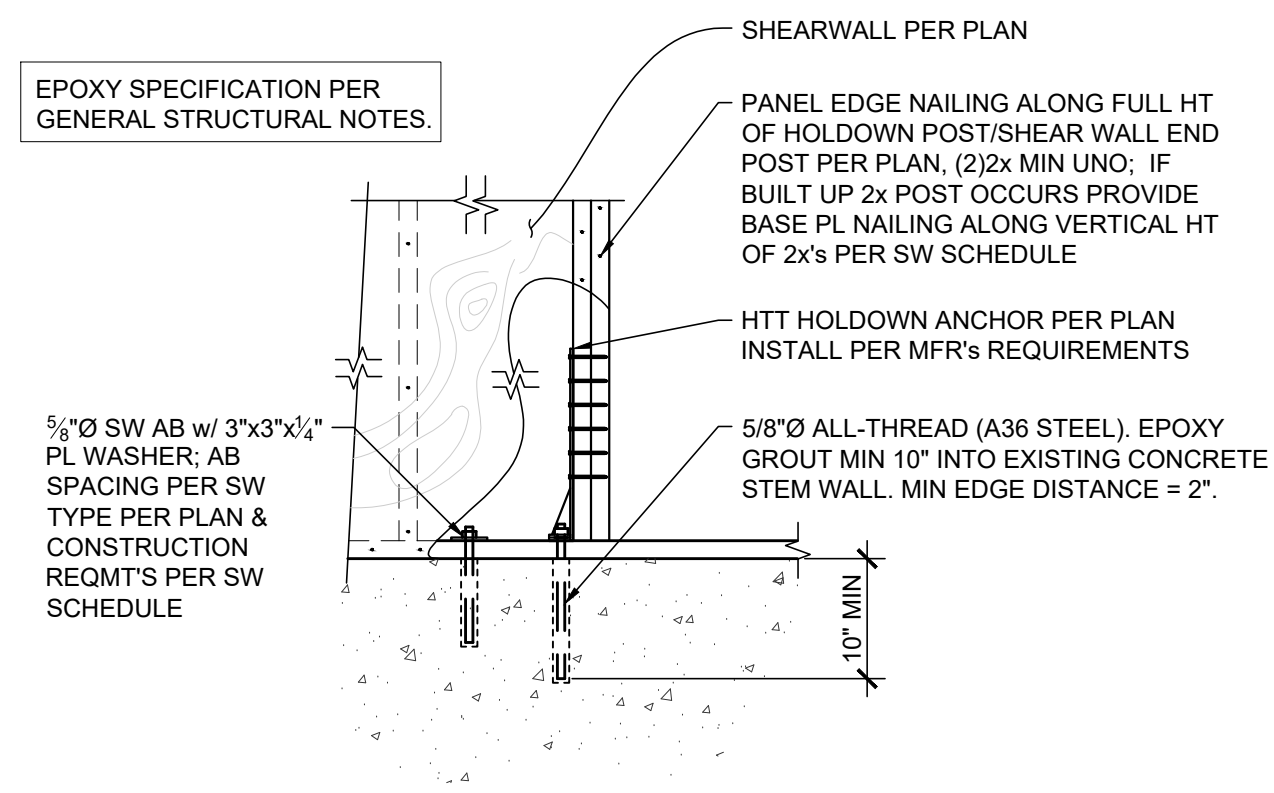
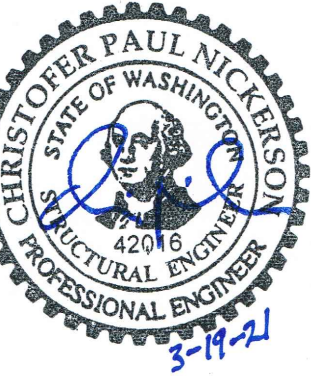




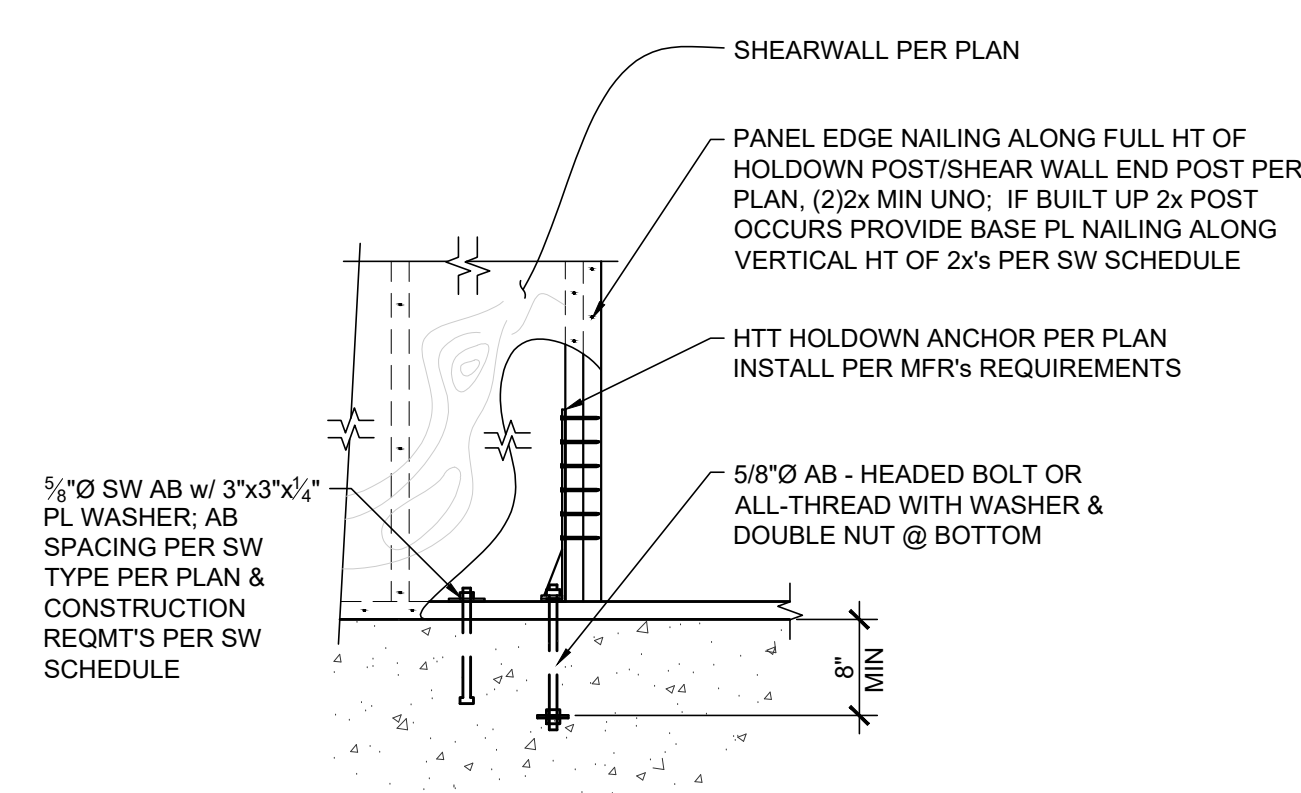
nickerson engineering
2221 Everett Ave #202
Everett, WA 98201
425.610.4425

© Nickerson Engineering, LLC 2020 These drawings were prepared for the "HOLTAN RESIDENCE" project in MERCER ISLAND, WA. They are not intended for use on any other project.

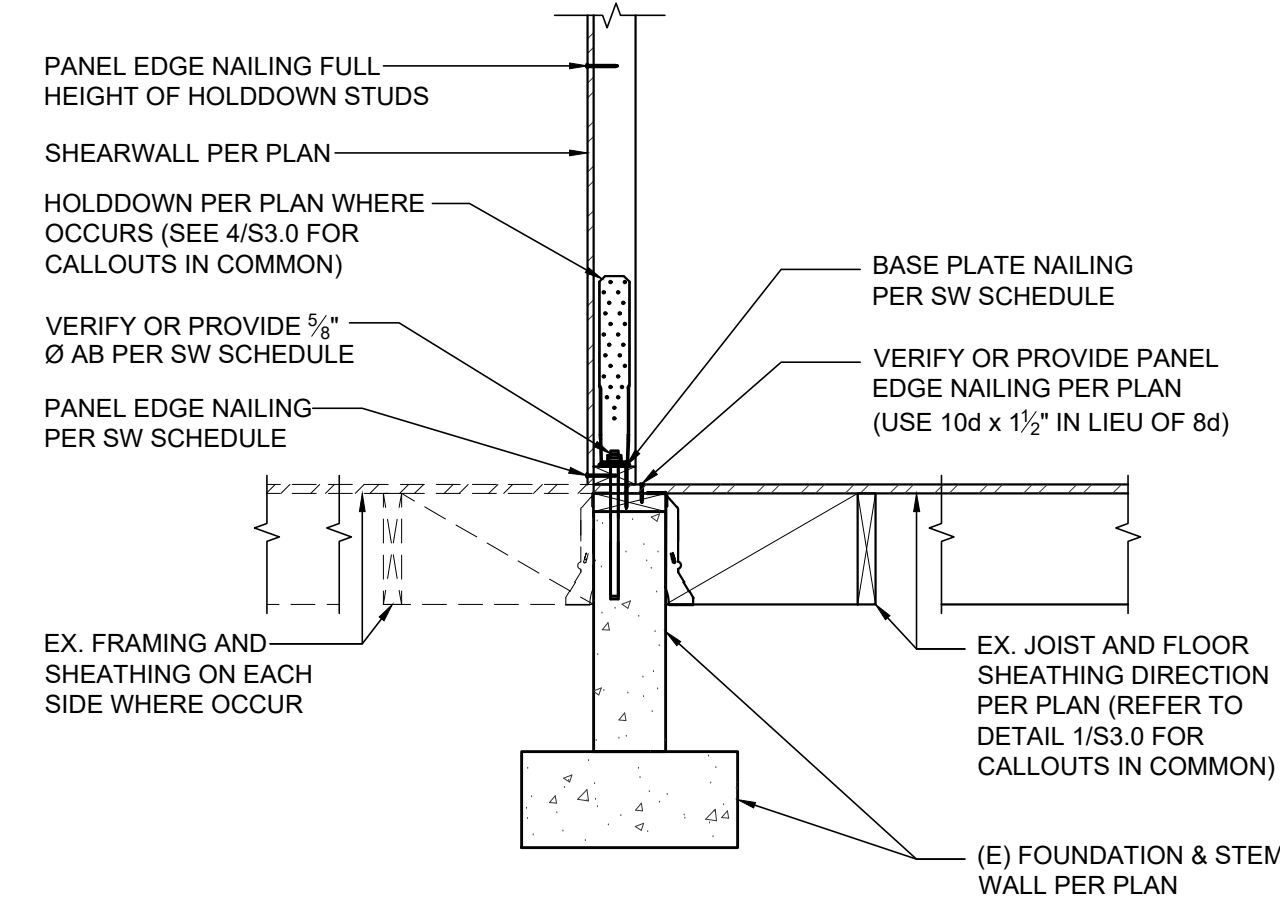
Stated drawing scale is based on 36" x 24" sheet.



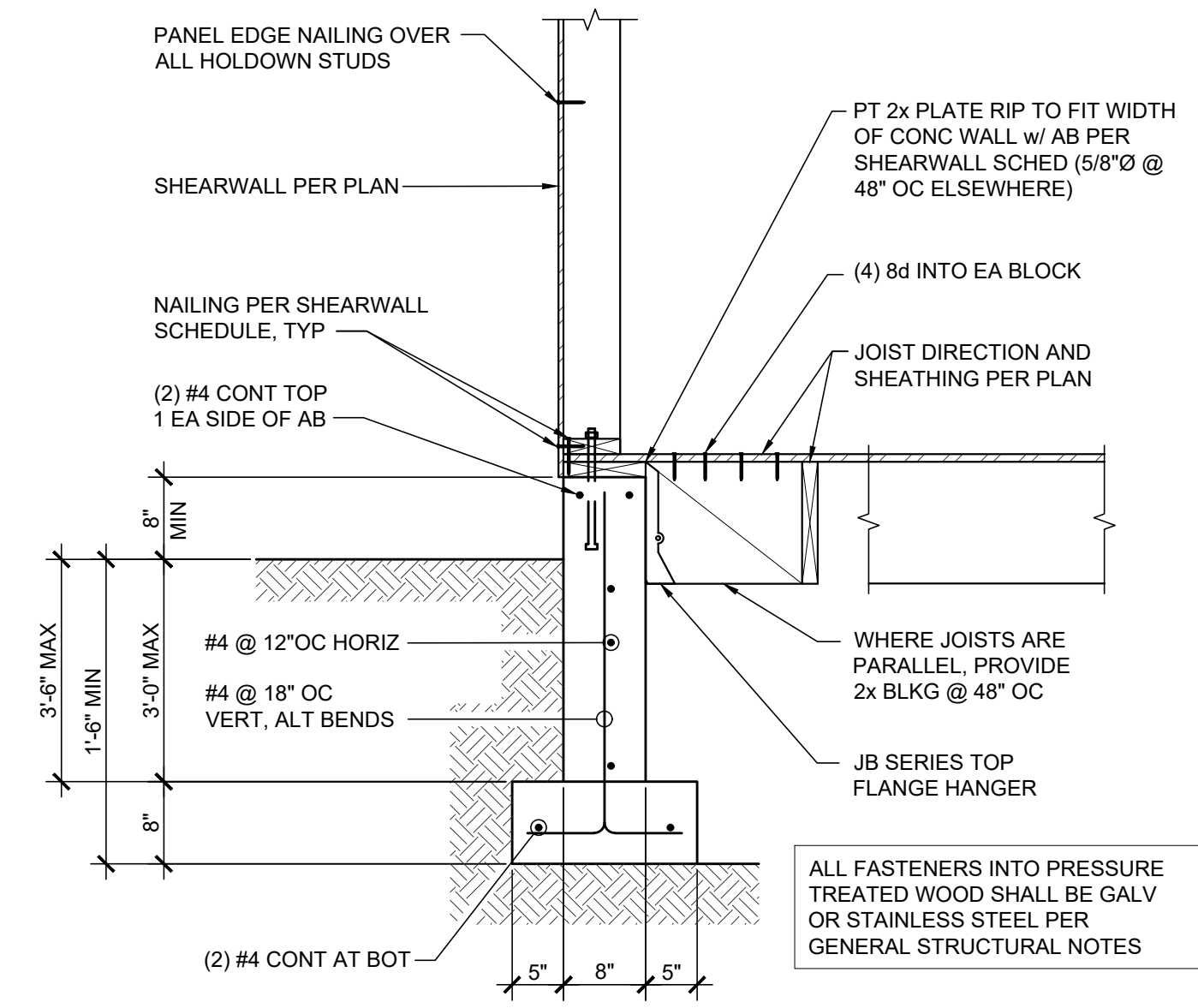
HTT RETROFIT HOLDOWN ANCHOR 4
SCALE: 3/4" = 1'-0" S3.0



TYPICAL HTT HOLDOWN ANCHOR 3
SCALE: 3/4" = 1'-0" S3.0

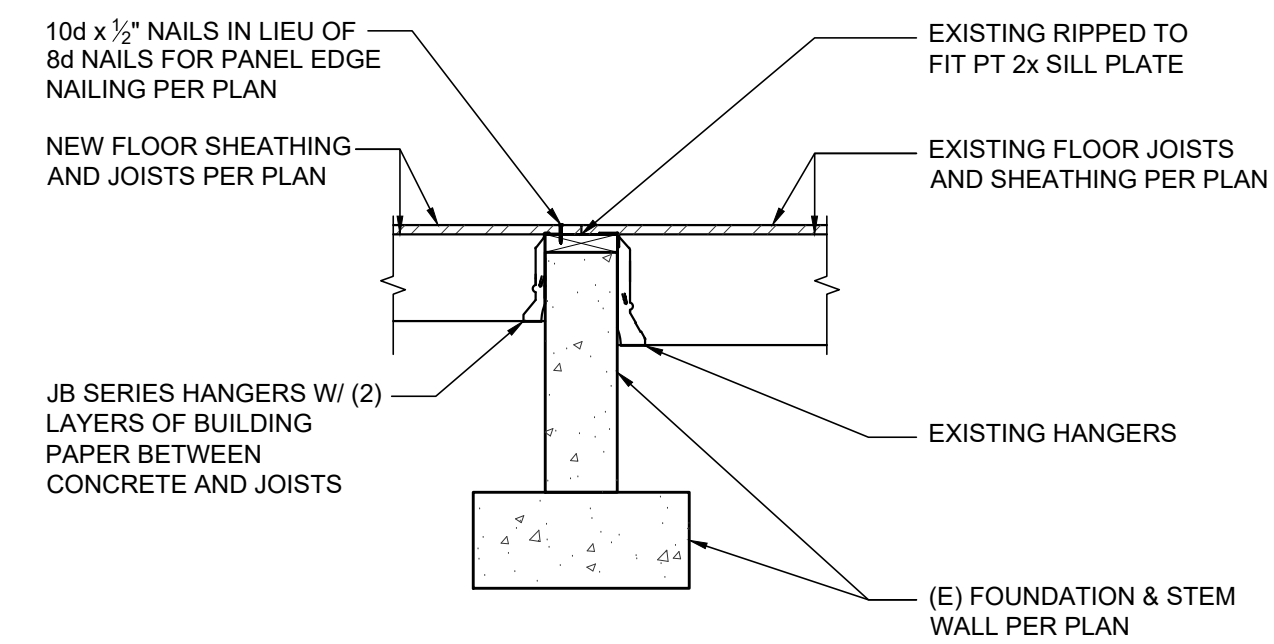


SW OVER EX. FOUNDATION 2
SCALE: 3/4" = 1'-0" S3.0

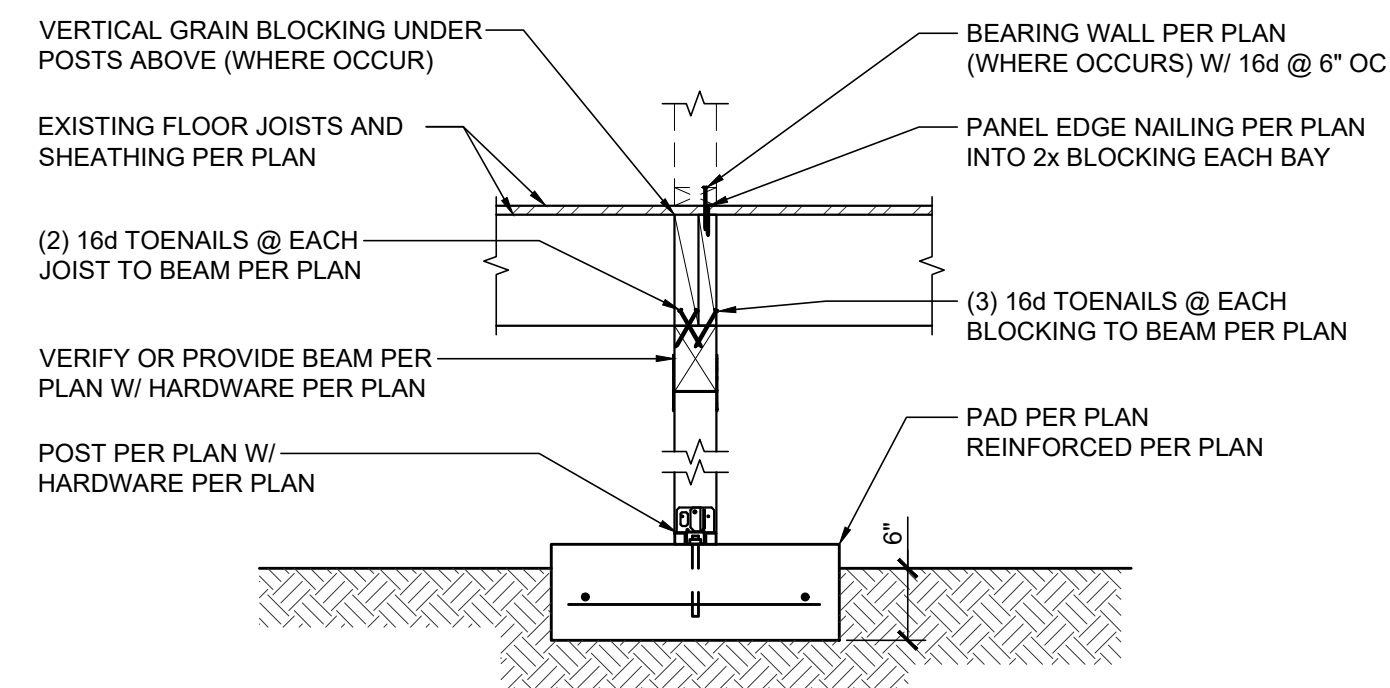


NEW FOUNDATION w/ CRAWL SPACE 1
SCALE: 3/4" = 1'-0" S3.0

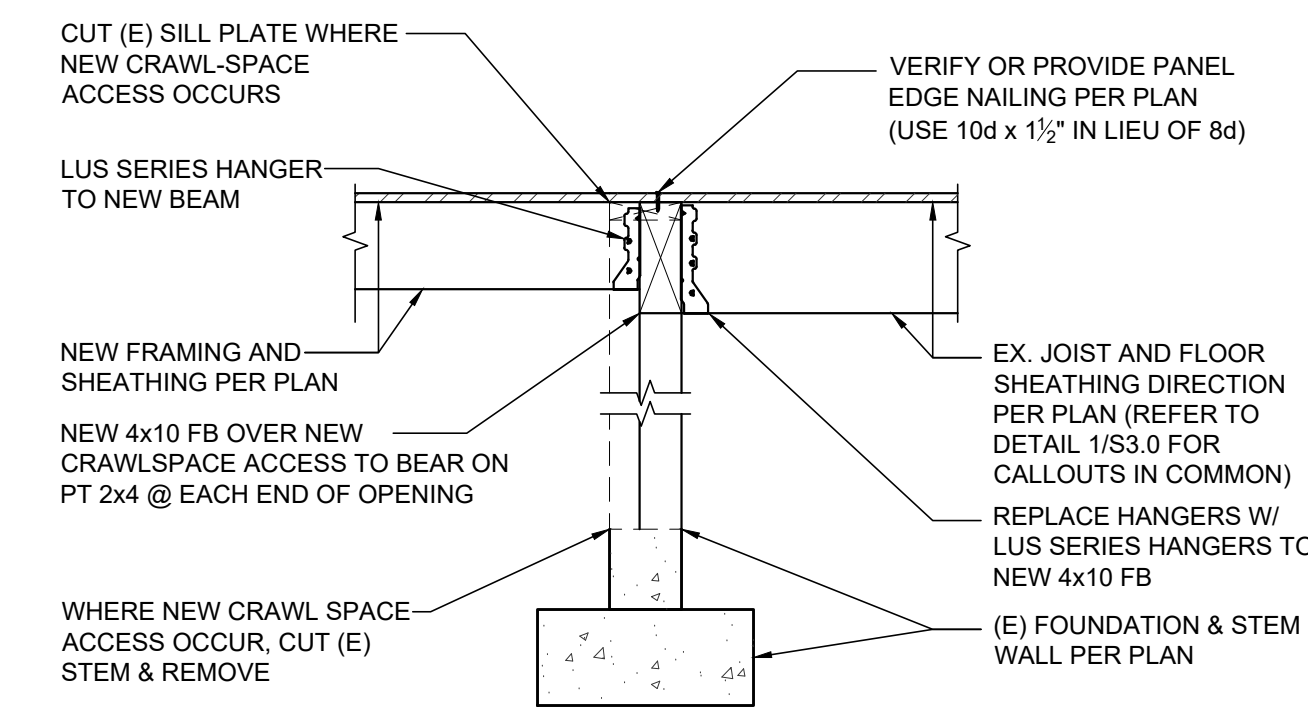
REFER TO DETAILS 2/S3.0 FOR CALLOUTS IN COMMON



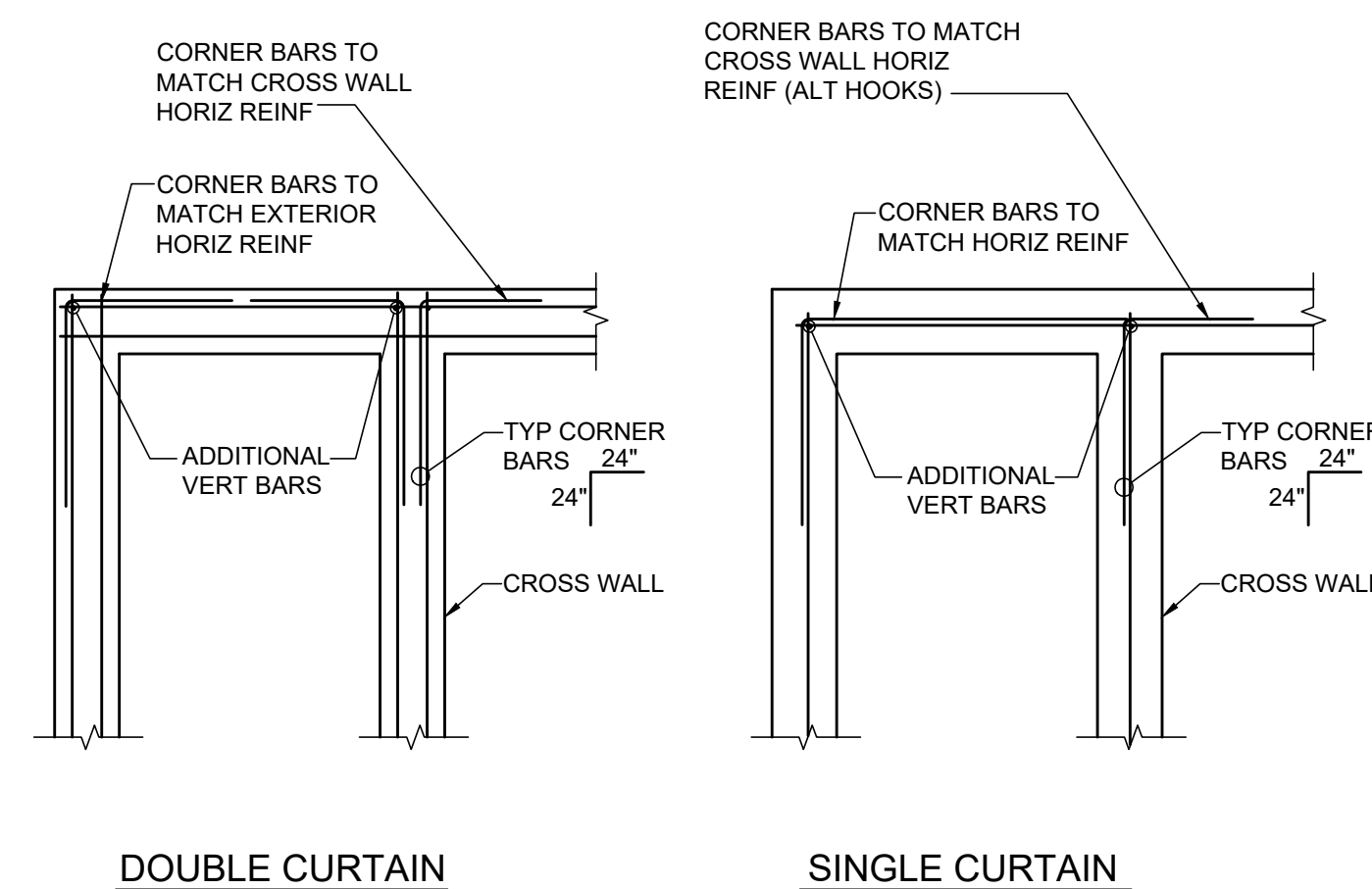
NEW FRAMING TO EXISTING FOUNDATION 8
SCALE: 3/4" = 1'-0" S3.0



NEW PAD @ BEARING LINE 7
SCALE: 3/4" = 1'-0" S3.0



NEW CRAWLSPACE ACCESS 5
SCALE: 3/4" = 1'-0" S3.0



TYP CORNER BARS @ CONC WALLS & FTGS 9
SCALE: 3/4" = 1'-0" S3.0

HOLTAN RESIDENCE
4626 89TH AVE SE
MERCER ISLAND, WA 98040

No.	Date	Issue
A	08.14.20	Coordination
B	09.15.20	Coordination
0	03.19.21	Building Permit

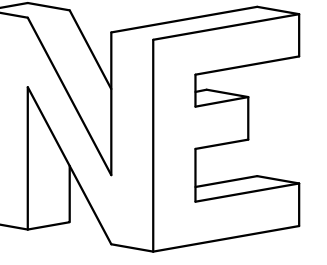
Sheet Contents

FOUNDATION DETAILS

Job No. 20-077

Sheet No.

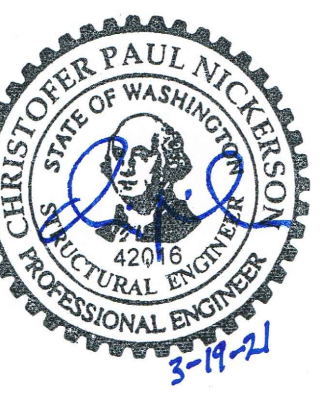
S3.0



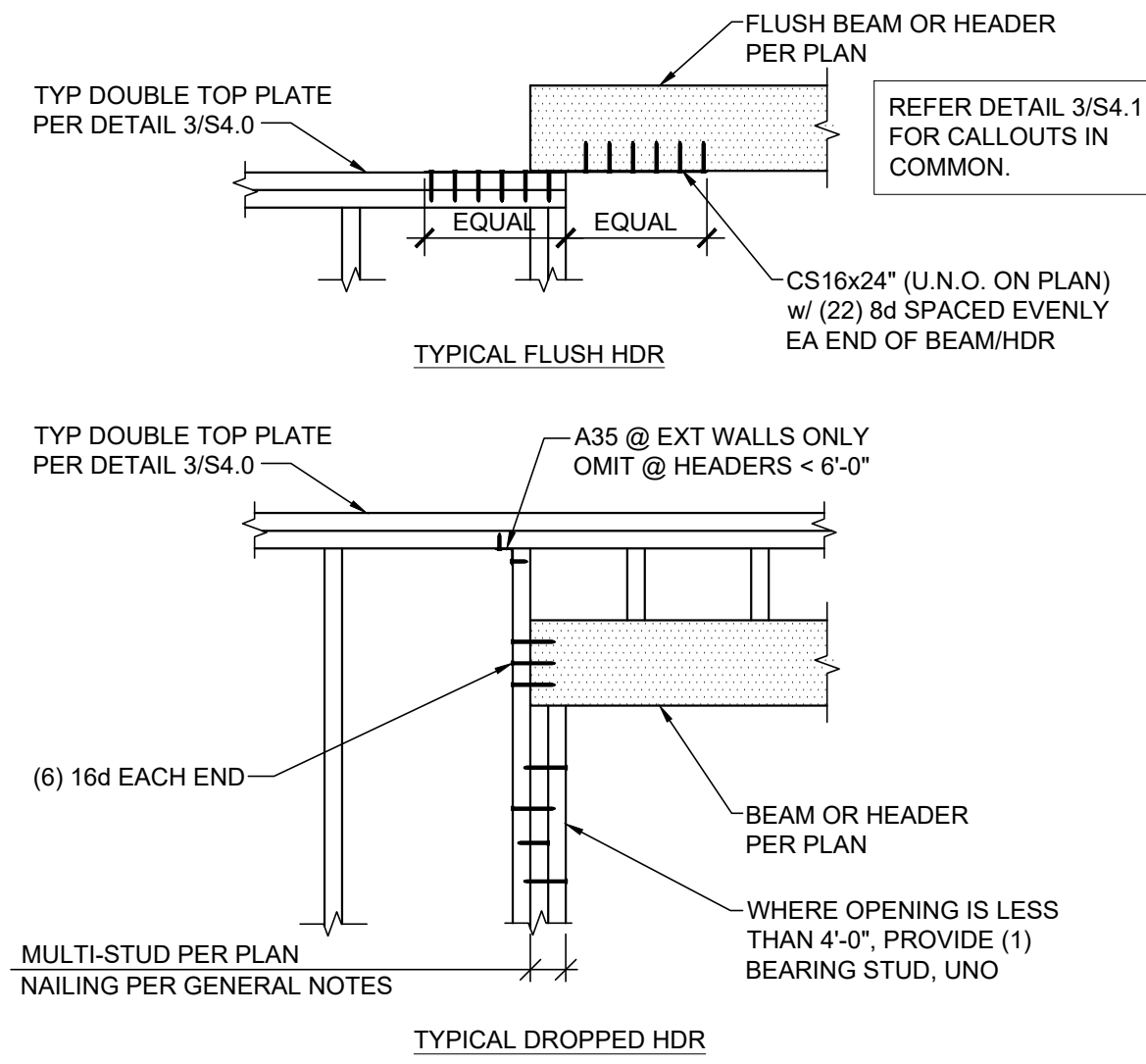
nickerson engineering
2221 Everett Ave #202
Everett, WA 98201
425.610.4425

© Nickerson Engineering, LLC 2020 These drawings were prepared for the "HOLTAN RESIDENCE" project in MERCER ISLAND, WA. They are not intended for use on any other project.

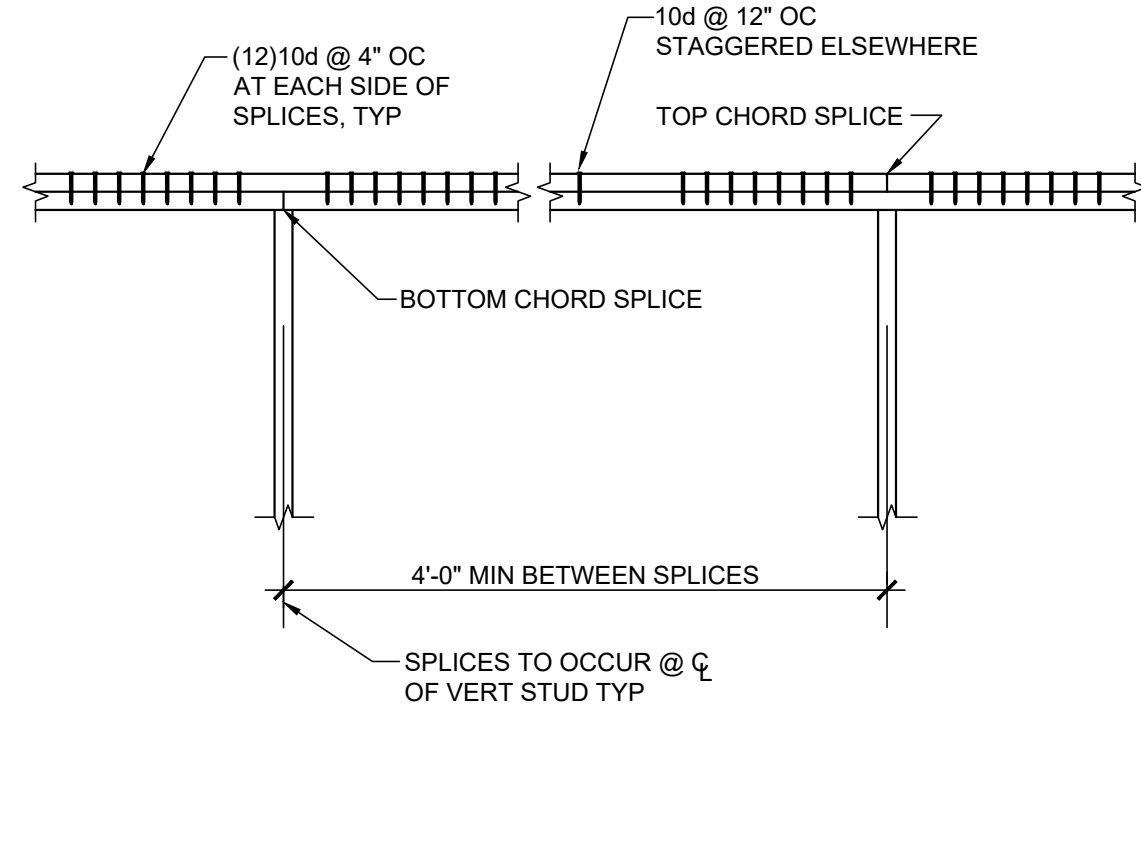
Stated drawing scale is based on 36" x 24" sheet.



HOLTAN RESIDENCE
4626 89TH AVE SE
MERCER ISLAND, WA 98040

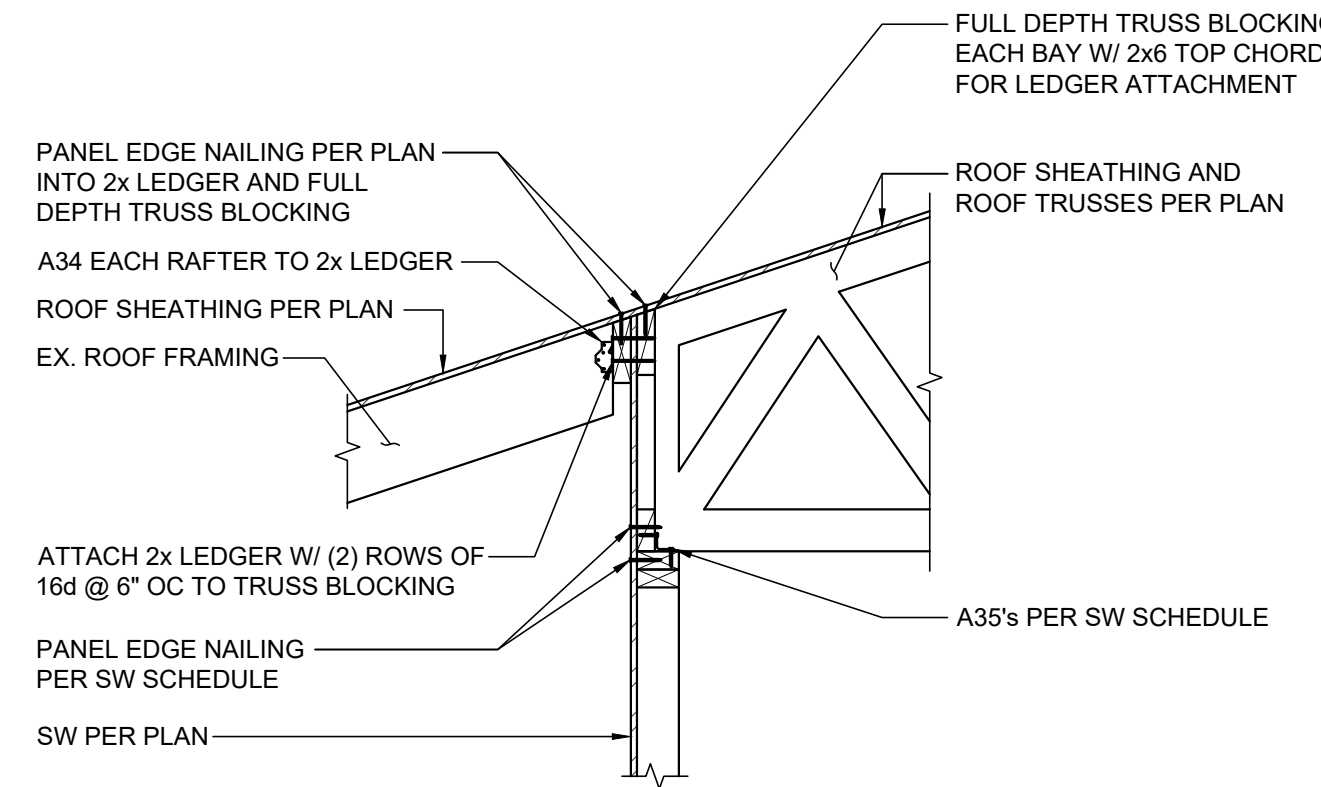


TYPICAL HEADER SUPPORT 4
SCALE: 3/4" = 1'-0" S4.0

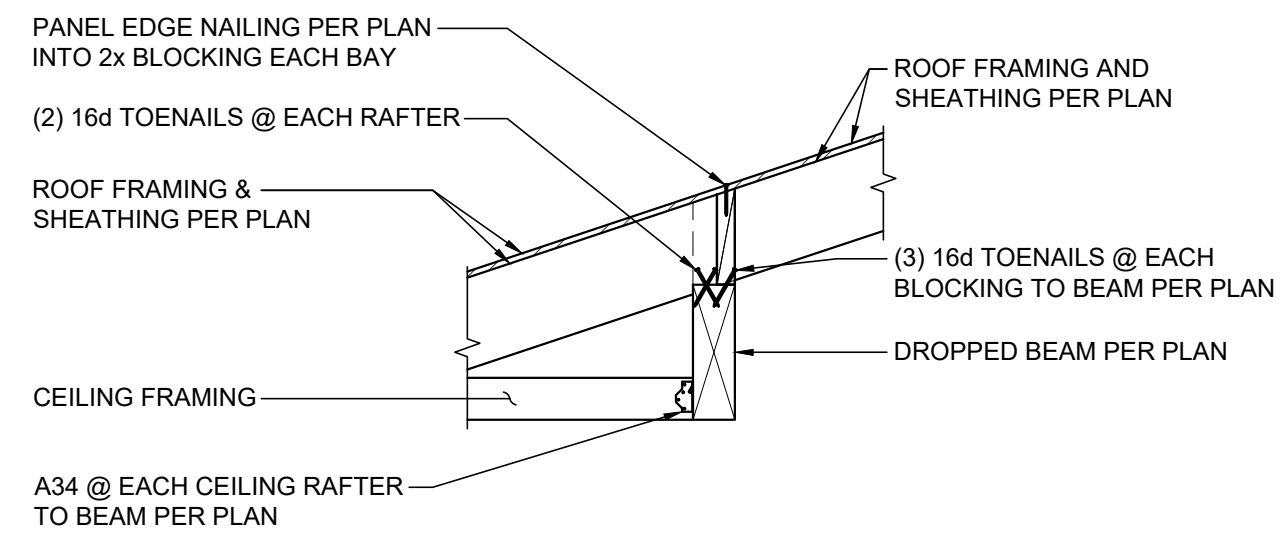


TYPICAL TOP PLATE SPLICE 3
SCALE: 3/4" = 1'-0" S4.0

NOTE TO TRUSS DESIGNER:
MIN TOP CHORD DEPTH REQUIREMENT FOR LEDGER ATTACHMENT TO TRUSS BLOCKING



INTERIOR SW @ EX. ROOF 8
SCALE: 3/4" = 1'-0" S4.0

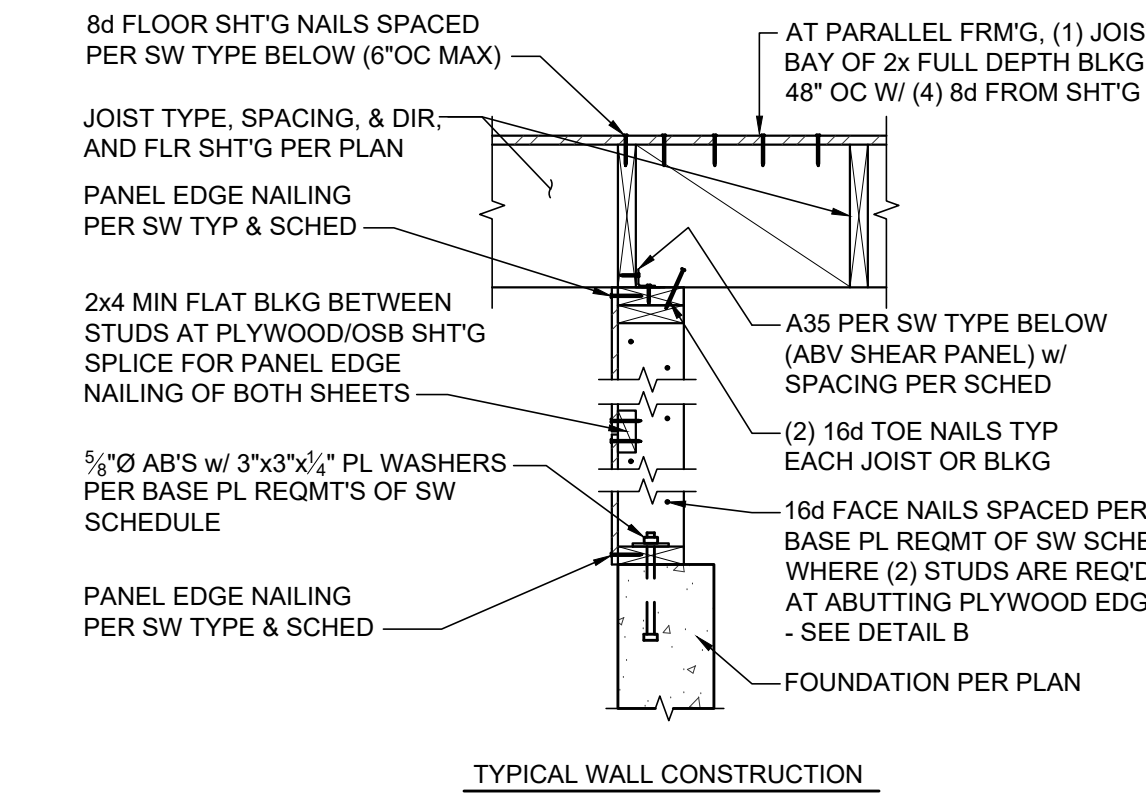


DROPPED BEAM @ ROOF 7
SCALE: 3/4" = 1'-0" S4.0

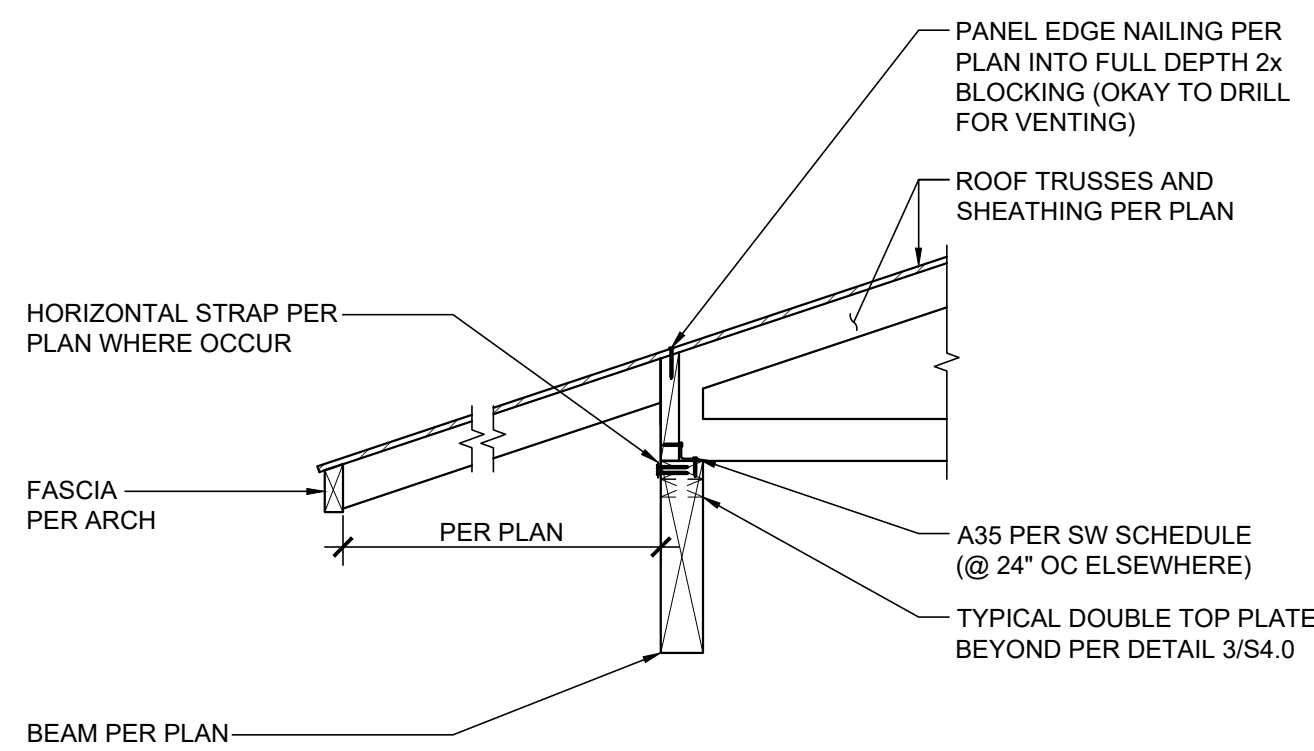
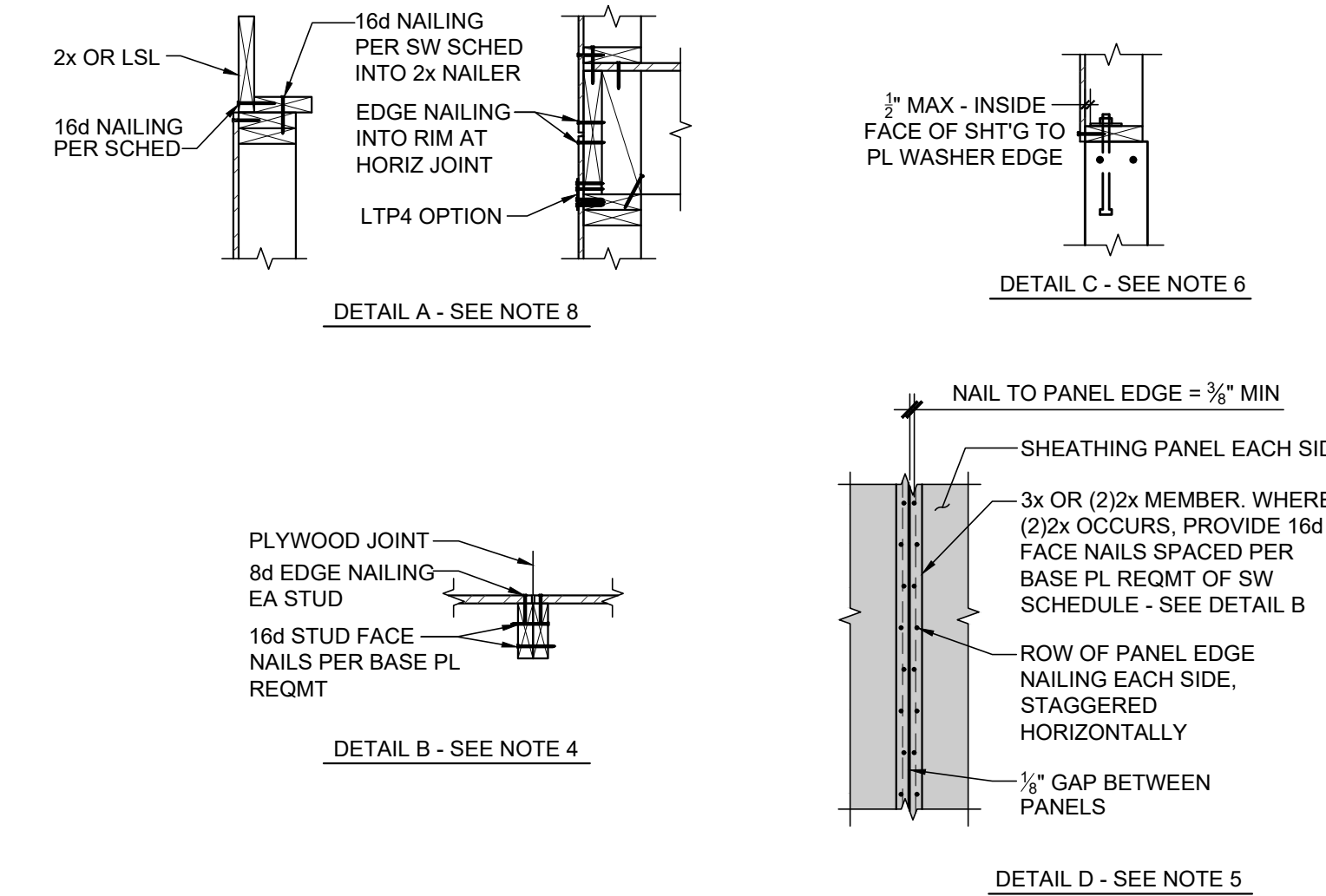
SHEARWALL (SW) SCHEDULE 147

MARK	SHEATHING	PANEL EDGE NAILING	TOP PL CONNECTION	BASE PLATE CONNECTION	
				at WOOD	at CONCRETE
SW1	1/2" PLYWOOD	8d @ 6" OC	A35 @ 24" OC	16d @ 6" OC	5/8" AB @ 48" OC
SW2	1/2" PLYWOOD	8d @ 4" OC	A35 @ 16" OC	16d @ 4" OC	5/8" AB @ 32" OC
SW3	1/2" PLYWOOD	8d @ 3" OC	A35 @ 12" OC	16d @ 3" OC	5/8" AB @ 16" OC
SW4	1/2" PLYWOOD	8d @ 2" OC	A35 @ 9" OC	(2) ROWS 16d @ 4" OC	5/8" AB @ 12" OC
SW5	1/2" PLYWOOD EACH SIDE	8d @ 3" OC EACH SIDE	A35 @ 6" OC	(2) ROWS 16d @ 3" OC	5/8" AB @ 12" OC

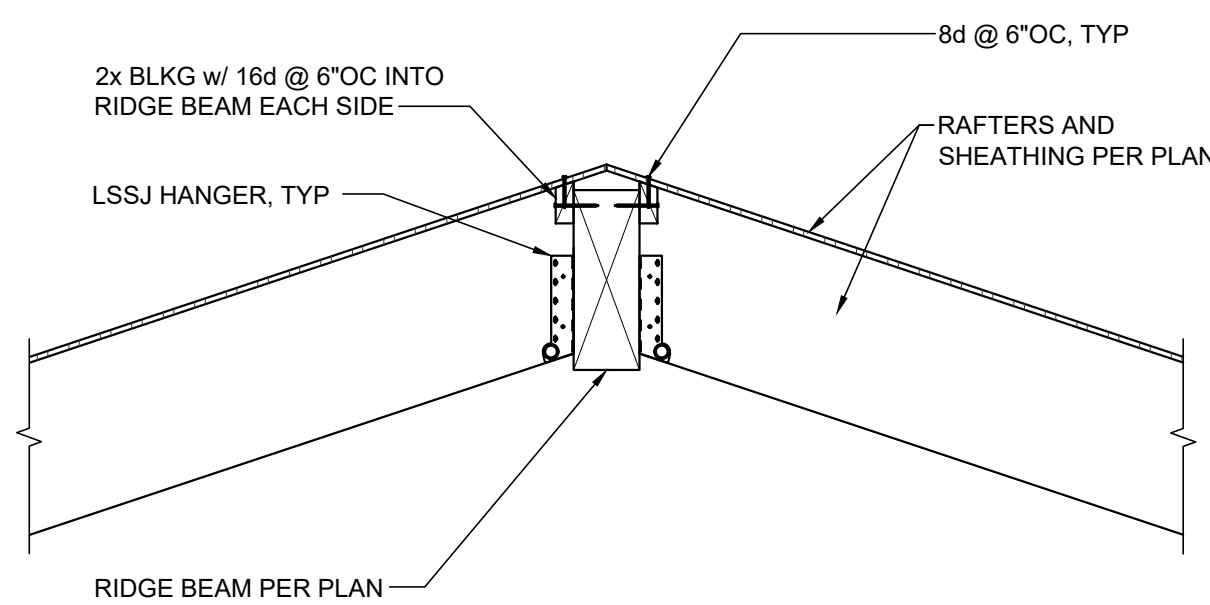
- BLOCK PANEL EDGES WITH 2x LAID FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d @ 12" OC.
- 8d NAILS SHALL BE 0.131"Ø x 2 1/2" (COMMON); ACCEPTABLE SUBSTITUTE FOR 8d's ARE 10d's OF 0.131"Ø x 3" AT CONTRACTOR'S OPTION; 16d NAILS SHALL BE 0.135"Ø x 3 1/2" (BOX), 0.148"Ø x 3 1/2" (SINKER), OR 0.162"Ø x 3 1/2" (COMMON WIRE)
- EMBED ANCHOR BOLTS (AB'S) 7" MIN & PROVIDE 3"x3"x1/2" PL WASHER AT EA AB; EXPANSION BOLTS, TITEN HD ANCHORS, OR EPOXY EMBEDDED THREADED RODS MAY BE POST INSTALLED IN LIEU OF AB'S; ALL POST INSTALLED ANCHORS SHALL HAVE 3"x3"x1/2" PL WASHER, EPOXY EMBEDDED OPTION SHALL UTILIZE SIMPSON AT-XP EPOXY.
- (2) 2x STUDS MIN ARE REQUIRED AT THE END OF ALL SHEAR WALL PANELS TO RECEIVE THE PANEL EDGE NAILING; BUILT UP 2x STUDS SHOULD BE FACE NAILED W/ 10d OR 16d NAILS PER THE BASE PL NAILING REQMT'S OF THE SPECIFIC SW TYPE (PER PLAN) - SEE DETAIL B
- SW3, SW4 & SW5 REQUIREMENTS: 3x STUDS OR (2) 2x STUDS ARE REQUIRED AT ABUTTING PANEL EDGES, WHERE (2) 2x STUDS ARE UTILIZED PROVIDE BASE PL NAILING ALONG FULL VERTICAL FACE OF 2xS. EACH ROW OF PANEL EDGE NAILING TO BE STAGGERED HORIZONTALLY - SEE DETAIL D. FOR SW5, ABUTTING PANEL EDGES SHALL BE OFFSET EACH SIDE OF WALL.
- SW3, SW4 & SW5 ANCHOR BOLT & PLATE WASHER PLACEMENT - PLATE WASHERS SHALL BE NO MORE THAN 1/2" FROM INTERIOR FACE OF SHEATHING/SILL PLATE EDGE WHERE NAILING OCCURS - SEE DETAIL C. AT SW5, ANCHOR BOLTS TO BE STAGGERED.
- ALL EXTERIOR WALLS SHALL BE SW1, UNLESS NOTED OTHERWISE.
- ALTERNATIVE CONNECTIONS FOR A35'S: LTP4 FLAT PL'S AT SAME SPACING FROM RIMBLOCKING/BEAM TO TOP PL'S. WHEN LTP4'S ARE INSTALLED OVER 1/2" SHEATHING, PROVIDE 0.131"Ø x 2 1/2" NAILS INSTEAD. OTHER ALTERNATIVE CONNECTIONS FOR A35'S: A 2x NAILER FOR CEILING CONNECTION, OR THE HORIZONTAL SHEATHING SPLICE/Joint TO OCCUR ON RIMBLKG/BEAM (ABOVE TOP PL'S & BELOW BOTTOM PL) - SEE DETAIL A. AT SW5 & SW6, INSTALL LTP4 FLAT PL'S AS SPECIFIED TO EACH SIDE OF FULL DEPTH BLOCKING OR BEAM. BLOCKING/BEAM WIDTH TO MATCH SW WIDTH.
- 7/16" OSB IS ACCEPTABLE SUBSTITUTE FOR 1/2" CDX PLYWOOD W/ SIMILAR SPAN RATING.
- ALL RIMS TO BE 2x TO MATCH FLOOR/DECK JOISTS ADJACENT (10" OR 12" PER PLAN) MIN U.N.O. AS WIDER PER PLAN.



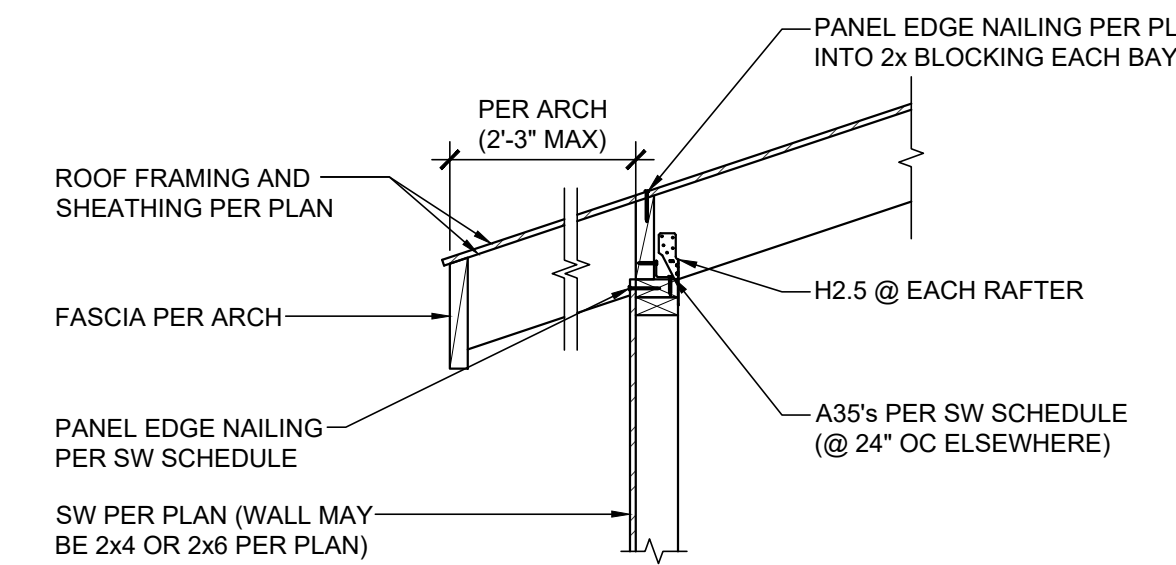
SHEARWALL SCHEDULE AND TYPICAL CONSTRUCTION 1
SCALE: NTS S4.0



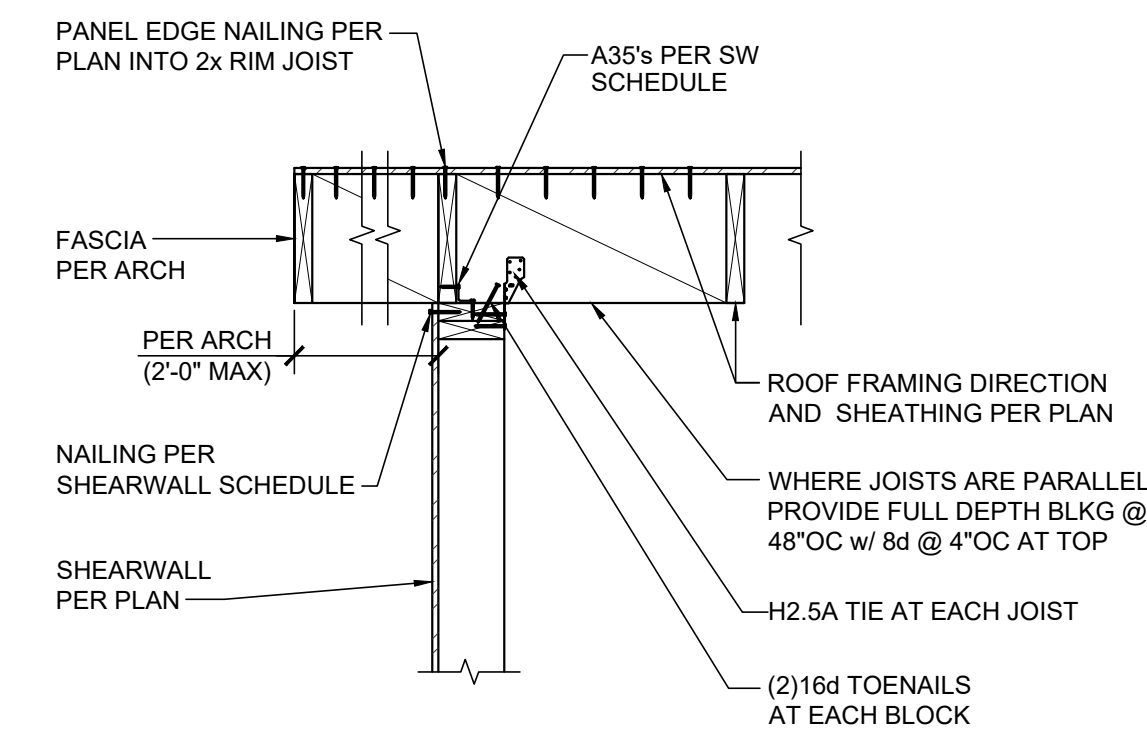
NEW BEAM @ EXTERIOR WALL 12
SCALE: 3/4" = 1'-0" S4.0



RIDGE LSSJ HANGER 11
SCALE: 3/4" = 1'-0" S4.0



ROOF AT EXTERIOR BEARING WALL 10
SCALE: 3/4" = 1'-0" S4.0



ROOF AT EXTERIOR NON-BEARING WALL 9
SCALE: 3/4" = 1'-0" S4.0

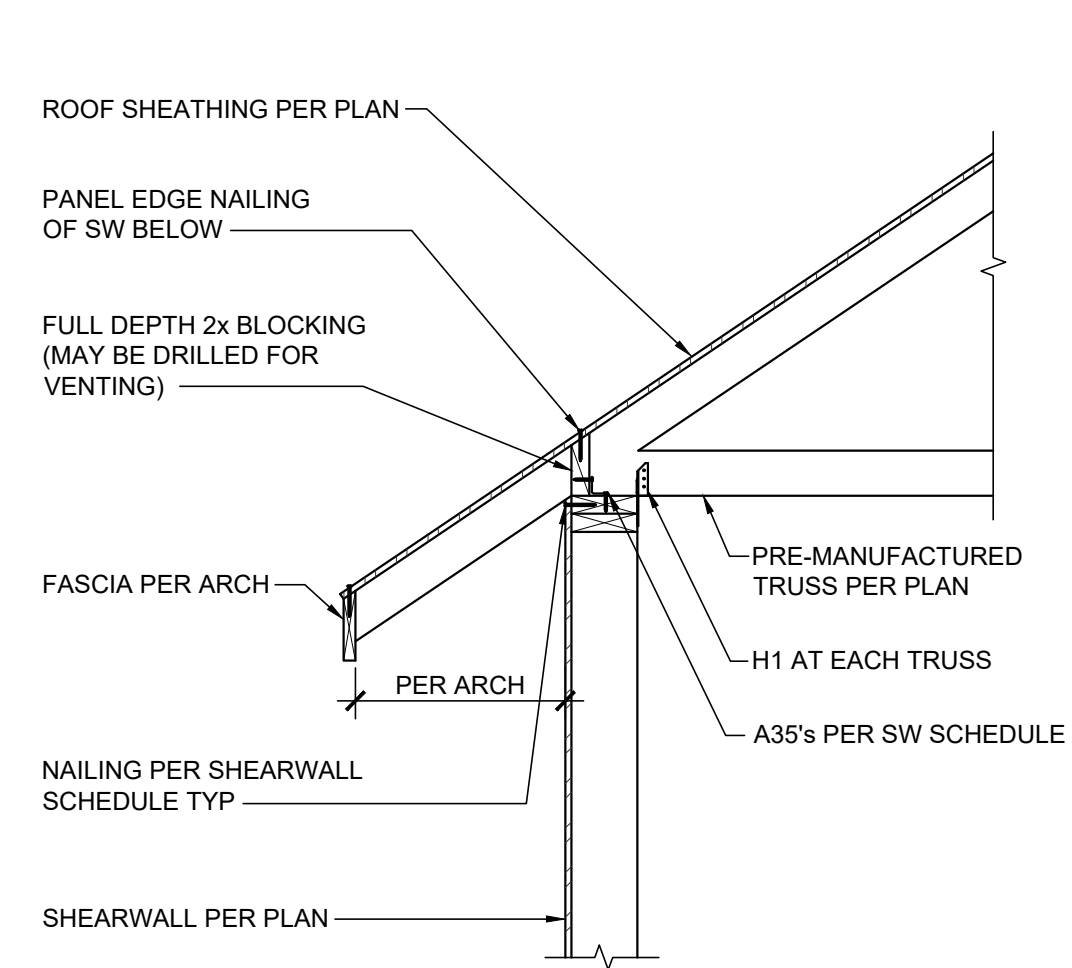
No.	Date	Issue
A	08.14.20	Coordination
B	09.15.20	Coordination
0	03.19.21	Building Permit

Sheet Contents
FRAMING DETAILS

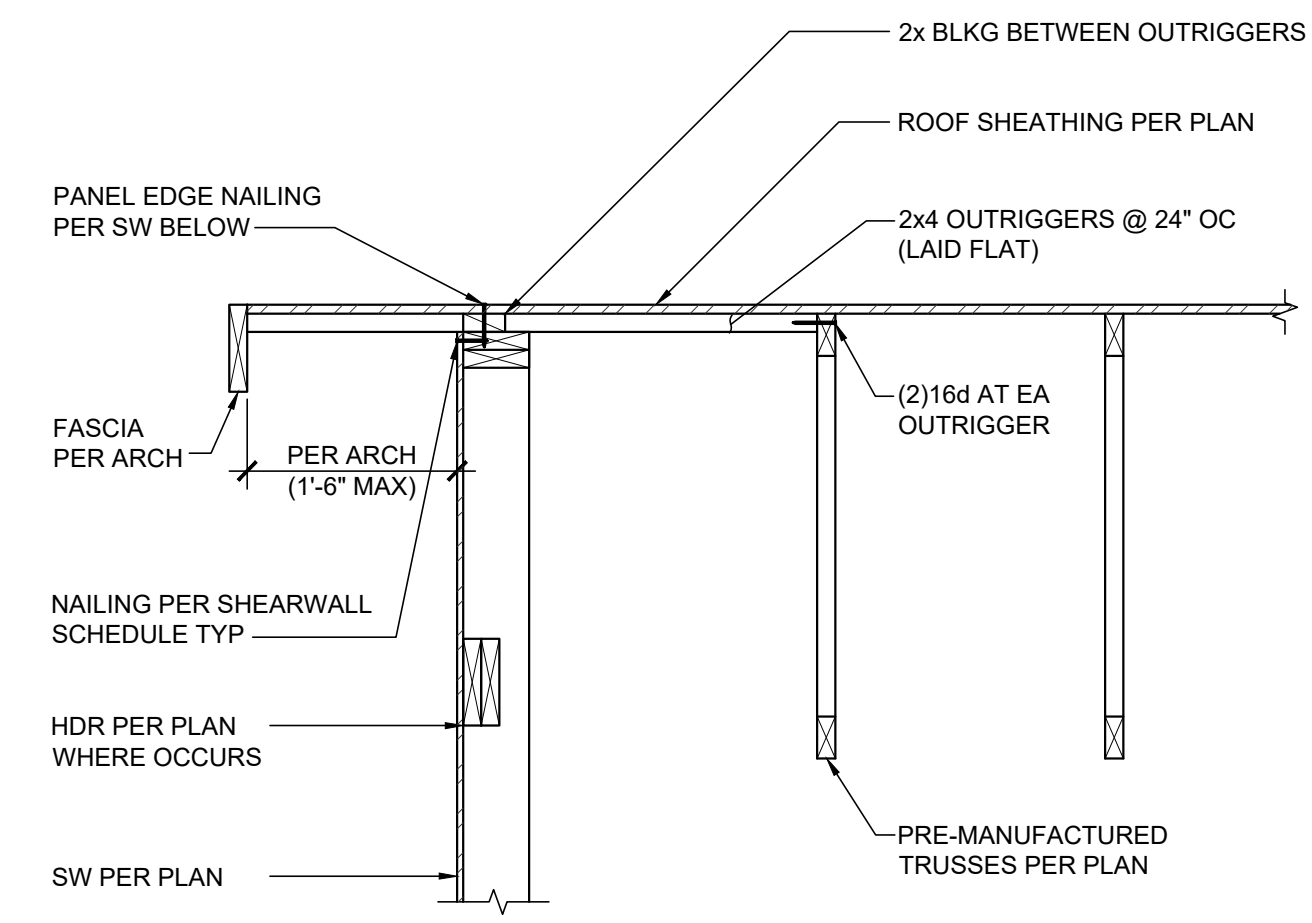
Job No. 20-077

Sheet No.

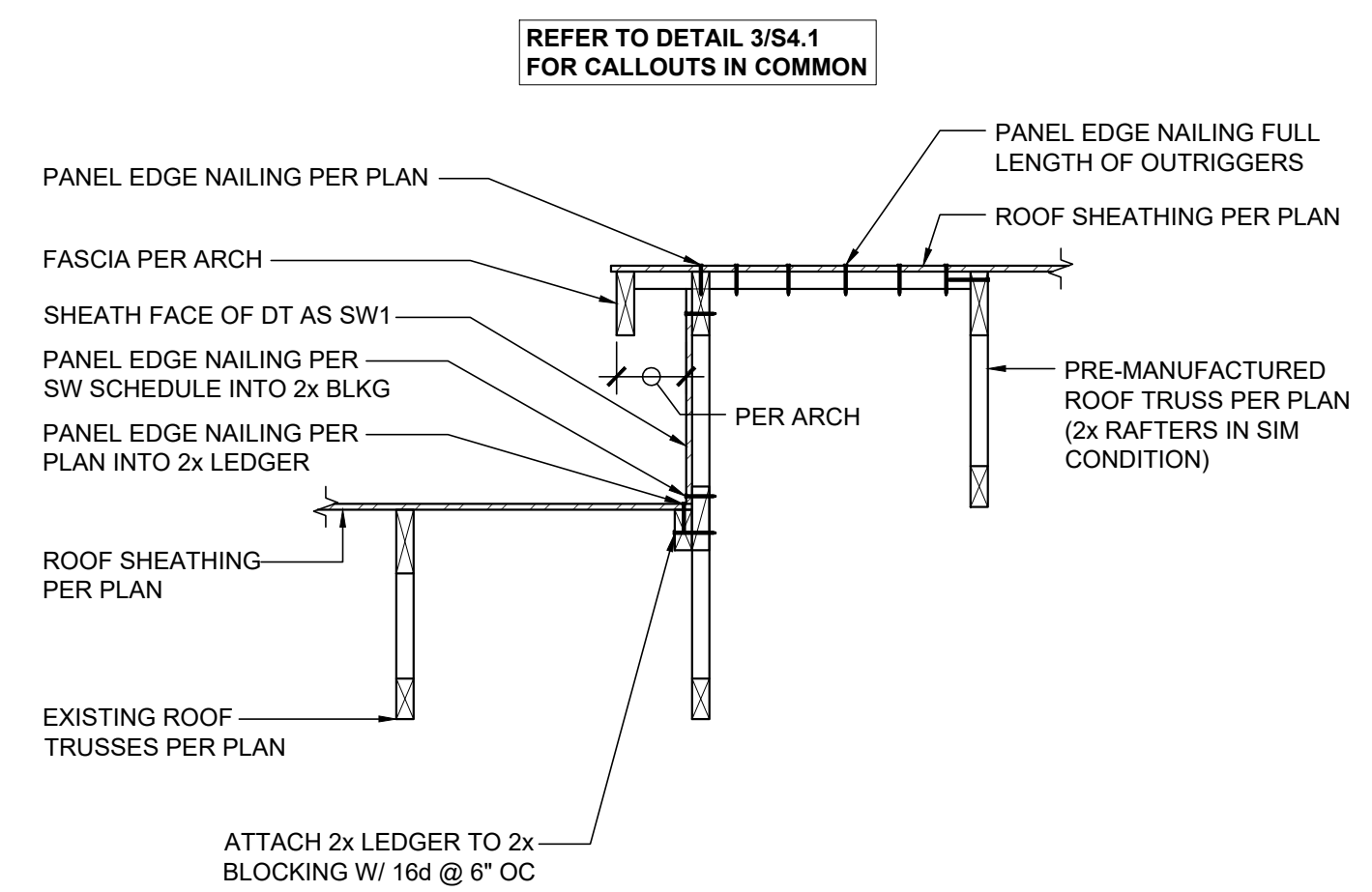
S4.0



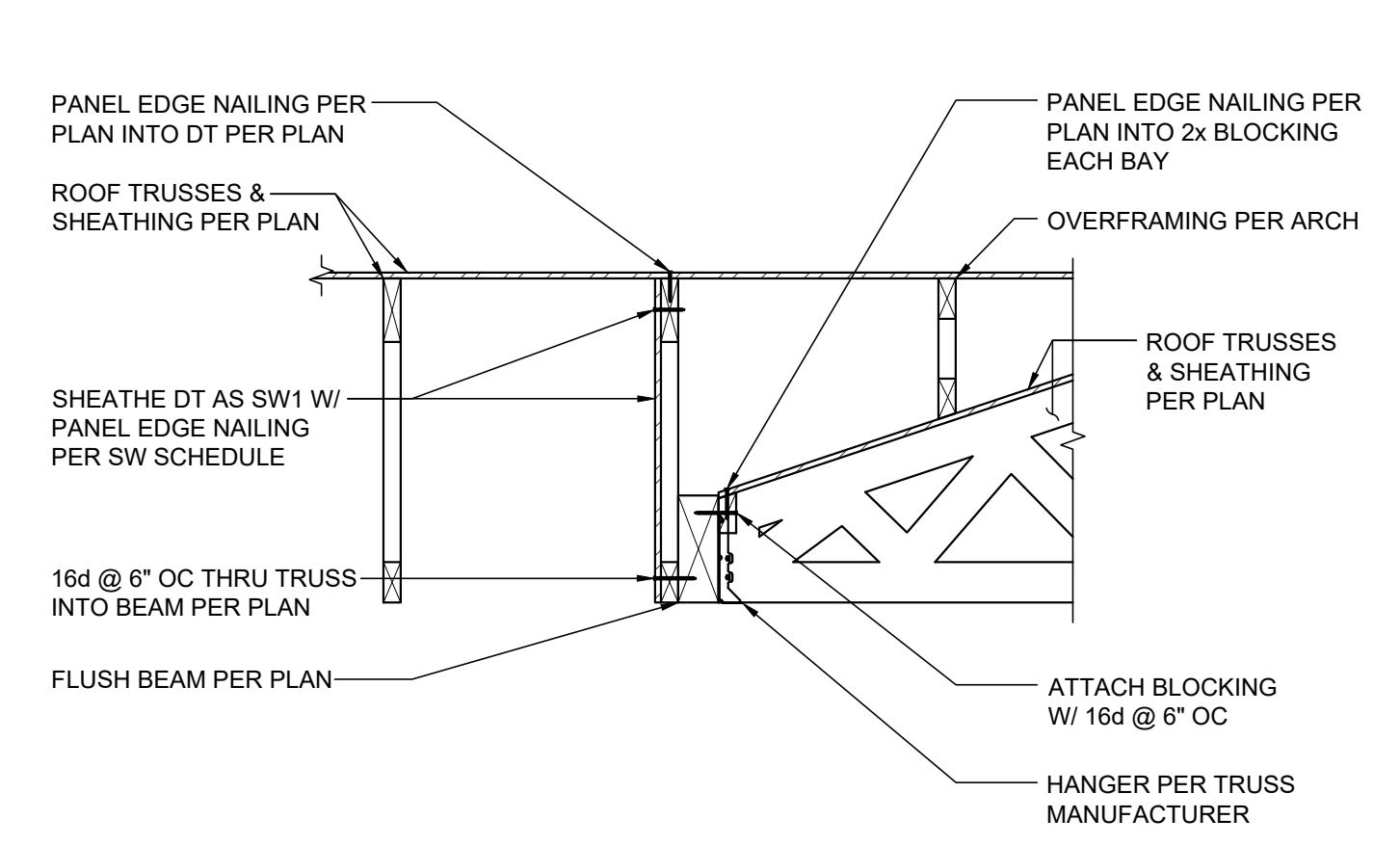
EXTERIOR WALL @ EAVE 4
SCALE: 3/4" = 1'-0" S4.1



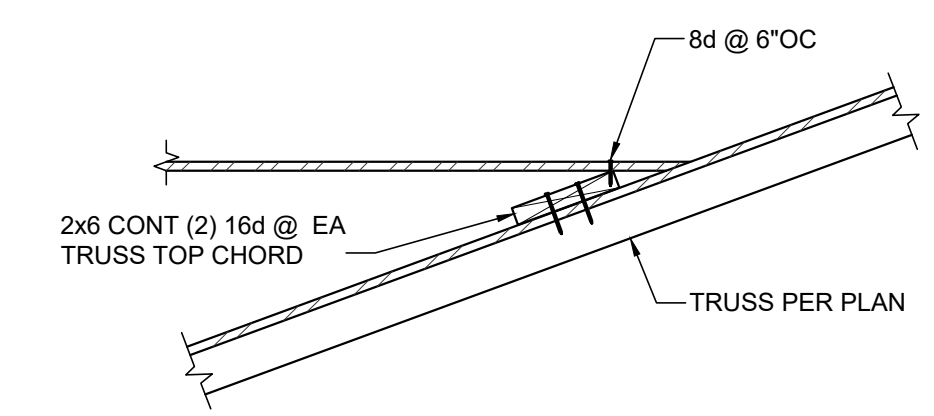
EXTERIOR WALL @ GABLE END 3
SCALE: 3/4" = 1'-0" S4.1



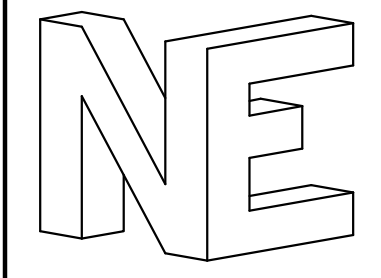
CHANGE IN ROOF ELEVATION 2
SCALE: 3/4" = 1'-0" S4.1



ROOF TRUSSES @ FLUSH BEAM 1
SCALE: 3/4" = 1'-0" S4.1

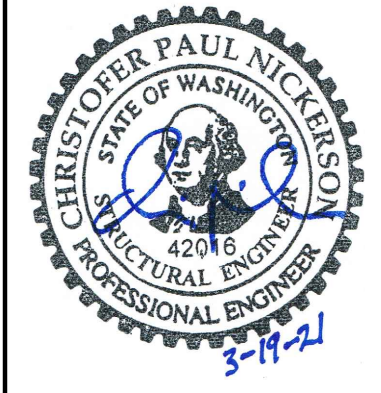


OVER FRAMING CONNECTION 5
SCALE: 3/4" = 1'-0" S4.1



nickerson engineering
2221 Everett Ave #202
Everett, WA 98201
425.610.4425

© Nickerson Engineering, LLC 2020 These drawings were prepared for the "HOLTAN RESIDENCE" project in MERCER ISLAND, WA. They are not intended for use on any other project.
Stated drawing scale is based on 36" x 24" sheet.



HOLTAN RESIDENCE
4626 89TH AVE SE
MERCER ISLAND, WA 98040

No.	Date	Issue
A	08.14.20	Coordination
B	09.15.20	Coordination
0	03.19.21	Building Permit

Sheet Contents
FRAMING DETAILS

Job No. 20-077

Sheet No.

S4.1