

LOT AREA
MERCER ISLAND ZONING R-9.6
LOT COVERAGE
(40% ALLOWABLE)
EXIST. MAIN STRUCTURE ROOF AREA
EXIST. ACCESSORY BLDG. ROOF AREA
EXIST. DRIVEWAY
EXIST. LOT COVERAGE TOTAL
EXIST. LOT COVERAGE %
PROPOSED ADDITION ROOF AREA
PROPSED NEWLOT COVERAGE TOTAL
COMPLETED TOTAL LOT COVERAGE
COMPLETED LOT COVERAGE %
HARDSCAPE
(9% ALLOWABLE)
EXIST WALKWAYS
TOTAL EXIST. HARDSCAPE
TOTAL HARDSCAPE % (UNCHANGED)

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	$3 \frac{\text{A.B.E. DIAGRAM}}{\frac{1}{20}}$	



DATE

03.22.2021





LEGEND:

IRON PIPE IN ASPHALT, DN .5' (TYP) EXISTING 3/4" IRON PIPE W/CAP 20764 SET 1/2" REBAR AND CAP "L.S. 20764" DECIDUOUS TREE CONIFEROUS TREE EDGE OF ASPHALT PAVING EDGE OF CONCRETE PHONE STACK

Q G GV) SS-

(SS)

STORM DRAIN CATCH BASIN ₩ WATER VALVE WATER METER FIRE HYDRANT GAS METER GAS VALVE ELEVATION AT NEAREST "imes"

SANITARY SEWER MANHOLE

LEGAL DESCRIPTION

UTILITY POLE ANCHOR

F/P

E/C

THE NORTH 74 FEET OF THE SOUTH 148 FEET OF THAT PORTION OF LOTS 13 AND 14 IN BLOCK 10 OF ALLVIEW HEIGHTS ADDITION TO SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 16 OF PLATS, PAGE 20, IN KING COUNTY WASHINGTON, LYING WESTERLY OF THE ALLEY IN SAID BLOCK, AND LYING NORTHERLY OF THE FOLLOWING DESCRIBED LINE:

BEGINNING AT THE WEST QUARTER CORNER OF SECTION 18 IN TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY WASHINGTON;

THENCE S 88' 24'24" E ALONG THE EAST AND WEST CENTERLINE OF SAID SECTION 18, ADISTANCE OF 1,684.33 FEET TO THE EASTERLY MARGIN OF 89TH AVE. S.E. RIGHT OF WAY PRODUCED NORTHERLY FROM BLOCKS 3 AND 10 OF SAID ALLVIEW HEIGHTS ADDITION TO SEATTLE;

THENCE S 01'08'36" W 1,715.62 FEET TO THE POINT OF BEGINNING OF THIS LINE; THENCE S 88'45'08" E 127.06 FEET TO THE WEST LINE OF SAID ALLEY IN SAID BLOCK AND THE TERMINUS OF SAID LINE;

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON. (BEARINGS FROM THE LEGAL DESCRIPTION HAVE BEEN ROTATED TO MATCH RECORDS OF SURVEYS FILED IN THIS AREA BY JONES BASSI AND ASSOC. LAND SURVEYING.)

VERTICAL DATUM

MEAN SEA LEVEL PER CITY OF MERCER ISLAND G.I.S./ SEWER AS-BUILT MAP SAN. SEWER M.H. 4-147INVERT ELEVATION = 344.54'S. RIM ELEVATION = 353.04' (SITE BENCH MARK) M.H. IS LOCATED IN 89TH AVE. S.E. 190' NORTH OF NIY LOT LINE

<u>NOTES</u>

1. ELEVATIONS, TREE LOCATIONS AND OTHER TOPOGRAPHIC INFORMATION SECOND MEASUREMENTS. WITH THE EXCEPTION OF CONTOUR LINES, THE PURPOSE CONFIGURATION OF THE GROUND AND THE FLOW OF WATER THEREFROM, TOPOGR, METHOD CAN NORMALLY BE EXPECTED TO BE ACCURATE WITHIN 0.5 OF A FOOT HO-VERTICALLY. HOWEVER, THERE IS ALWAYS THE POSSIBILITY OF A FEW ERRORS IN THE OFFICE PLOTTING OF THE TOPOGRAPHIC INFORMATION UNLESS EACH POINT IS LOCATED FROM 2 DIFFERENT SURVEY CONTROL STATIONS. IT WOULD BE ADVISABLE TO MAKE A PROPOSED IMPROVEMENTS ON THE GROUND BEFORE FINAL PLANS AND CONTRACTS ARE ACCURACY OF THE TOPOGRAPHIC INFORMATION IN RELATION TO THE PROPOSED CONSTRU

2. THE DRAWING SHOWN HEREON DOES NOT NECESSARILY CONTAIN ALL OF THE INFORMA BY THE SURVEYOR IN HIS FIELD WORK, OFFICE WORK, OR RESEARCH.

3. THE BOUNDARY CORNERS AND LINES DEPICTED ON THIS MAP ARE PER RECORD TITLE IN LINES ONLY. THEY DO NOT PURPORT TO SHOW OWNERSHIP LINES THAT MAY OTHERWISE BE DE 4. SUBJECT TO EASEMENTS, UTILITIES, RESTRICTIONS, RESERVATIONS, COVENANTS, AGREEMENTS, ORDINANCES, IF ANY, NOT SHOWN HEREON.

5. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT, THEREFORE TO SHOW ANY EASEMENTS, RESTRICTIONS, COVENANTS, OR ENCUMBERANCES OF RECORD THAT MAY

TOPOGRAPHIC SURVEY

IN BLOCK 10 OF ALLVIEW HEIGHTS

A PORTION OF LOTS 13 AND 14

JG

4

SHEET 1







DAVID GILCHRIST architect, LLC 114 157th Ave NE Bellevue, Washington 98008 425-417-8492

HOLTAN ADDITION 4626 89TH AVE SE MERCER ISLAND, WA 98040



DRAWING TITLE EXISTING & DEMO FLOOR PLANS

ISSUE PERMIT SUBMITTAL DATE 03.22.2021

A1.0



GENERAL NOTES

IF ERRORS, OMISSIONS OR CONFLICTS IN THESE DOCUMENTS ARE FOUND OR SUSPECTED, NOTIFY THE DESIGNER IMMEDIATELY AT THE ADDRESS OR TELEPHONE NUMBER SHOWN. CONTRACTOR TO VERIFY ALL DIMENSIONS AT THE SITE. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS, LOCATION, AND DISPOSITION OF EXISTING UTILITIES AND EASEMENTS. FOR ACCURATE DIMENSIONS, DO NOT SCALE DRAWINGS.

INFORMATION, INCLUDING NOTES AND DIMENSIONS, ON REPETITIOUS DETAILS MAY BE INDICATED ONLY IN ONE LOCATION. AT OTHER LOCATIONS WHERE DETAILING OR CONSTRUCTION IS SIMILARLY IMPLIED, PROVIDE SAME CONSTRUCTION.

- UNLESS NOTED OTHERWISE (UNO): - DIMS. FOR CONC. ARE TO FACE OF CONC.
- DIMS. FOR WOOD STUD FRAMING ARE TO FACE OF STUD - DIMS. FOR CABINETS ARE TO FACE OF FINISH WALL AND CABINET BOXES
- WINDOWS: - ALL WINDOWS ARE TO BE INSULATED GLASS AND SHALL HAVE A "U" FACTOR RATING
- PER ENERGY CODE NOTES. ALL GLAZING LESS THAN 18" ABOVE FLOOR LINE AND/OR WITHIN 24" OF DOORS SHALL BE TEMPERED SAFETY GLASS. - ALL OPERABLE WINDOWS WITH SILL HEIGHT 72" OVER EXTERIOR GRADE AND LESS
- THAN 24" ABOVE INTERIOR FINISH FLOOR SHALL HAVE A GUARD. - EGRESS WINDOWS: - 44" MAX. SILL HEIGHT
- 5.7 SF MIN. NET FREE ARE (5.0 SF AT GROUND LEVEL) - 24" MIN. OPENING HEIGHT
- 20" MIN. OPENING WIDTH WINDOW WELLS SHALL HAVE PLAN AREA OF 9 SF WITH MIN. HORIZ. PROJECTION AND WIDTH OF 36" - GLASS IDENTIFICATION LABELS TO REMAIN ON WINDOWS UNTIL INSULATION INSPECTION.
- DOORS
- OPAQUE EXTERIOR DOOR SHALL HAVE A U-VALUE RATING PER ENERGY CODE NOTES
- GLAZED DOORS ARE TO BE HAVE INSULATED, TEMPERED SAFETY GLASS. - ALL EXTERIOR DOORS SHALL BE FULLY WEATHER-STRIPPED. - ALL EXTERIOR DOORS SHALL HAVE A MAXIMUM 1" THRESHOLD.
- SMOKE AND CARBON MONOXIDE ALARMS: - SMOKE ALARMS IN AREAS OF NEW CONSTRUCTION SHALL BE INTERCONNECTED
- SUCH THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS. - SMOKE ALARMS IN AREAS OF NEW CONSTRUCTION SHALL BE HARDWIRED TO THE
- PRIMARY BUILDING POWER SOURCE AND HAVE A BATTERY BACK-UP. APPROVED SMOKE ALARMS SHALL BE INSTALLED AS SHOWN ON THE PLAN DRAWINGS AS WELL AS IN THE FOLLOWING LOCATIONS:
- BEDROOMS. - IN THE IMMEDIATE VICINITY OUTSIDE EACH BEDROOM.
- ON EACH STORY INCLUDING BASEMENTS AND ATTICS. - CARBON MONOXIDE ALARMS ARE REQUIRED ON EACH FLOOR AND OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
- FIRE BLOCKING AND DRAFT STOPS: DRAFT STOPS TO BE INSTALLED IN THE FOLLOWING CONDITIONS: - ALL FLOOR-CEILING ASSEMBLIES SO THAT CONCEALED SPACES DO NOT EXCEED 1000 SF.
- ALL INTERCONNECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES. - CONCEALED SPACES BETWEEN STAIR STRINGERS AT TOP AND BOTTOM
- AT OPENINGS IN CEILINGS AND FLOORS AROUND VENTS, PIPES, DUCTS, WIRING, ETC..

FLOOR PLAN NOTES

- 1. DO NOT SCALE DRAWINGS. REFER TO WRITTEN DIMENSIONS.
- 2. ALL INTERIOR WALLS TO BE 2X4 @ 16" O.C. (U.N.O.) 3. ALL EXTERIOR WALLS TO BE 2X6 @16" O.C. (U.N.O.)
- 4. INTERIOR HEADERS PER STRUCTURAL @ HT. FOR DOOR AS NOTED ON FLOOR 5. DOOR SIZES NOTED ARE SLABS NOT ROUGH OPENINGS.
- 6. WINDOW AND EXT. DOOR HEADER HEIGHT ARE INDICATED ON THE EXTERIOR ELEVATIONS. 7. PROVIDE FIRE BLOCKING AT ALL PLUMBING OPENING..
- 8. SMOKE DETECTORS SHALL BE INSTALLED IN EACH HABITABLE ROOM AND CENTRALLY LOCATED ON EACH FLOOR. AN ADDITIONAL SMOKE DETECTOR SHALL BE INSTALLED IN EACH LOCATION WHERE THERE IS A CEILING HEIGHT CHANGE GREATER THAN 24". SMOKE DETECTORS TO BE 110V HARDWIRED, INTERCONNECTED, WITH BATTERY BACKUP.
- 9. MECHANICAL VENTILATING SYSTEMS IN BATHROOMS, LAUNDRY ROOMS AND SIMILAR ROOMS SHOULD EXHAUST DIRECTLY TO THE OUTSIDE. THE POINT OF DISCHARGE OF EXHAUST AIR SHALL BE AT LEAST THREE FEET FROM ANY OPENING INTO THE BUILDING. WAC VIAQ 51-13.

ENERGY CODE NOTES

- 1. COMPLIANCE METHOD FOR PROPOSED RESIDENCE: 2018 WSEC PRESCRIPTIVE PATH.
- ALL EXIST. WALL, FLOOR AND ROOF AREAS THAT ARE EXPOSED DURING THE COURSE OF CONSTRUCTION ARE TO BE INSULATED TO THE MAXIMUM EXTENT
- THAT IS REASONABLY FEASIBLE. 3. FOR AREAS OF NEW CONSTRUCTION
- ROOF INSULATION: R-49 (ATTIC) ROOF INSULATION: R-38 (VAULTED SINGLE RAFTER) WALL INSULATION: R-21 FLOOR INSULATION: R-30
- WINDOW U-VALUE: 0.30 SKYLIGHT U-VALUE: 0.50
- 3. REFER TO BUILDING SECTIONS FOR ADDITIONAL EXT. ENVELOPE ASSEMBLY INFORMATION.
- 4. ALL INSULATION TO BE IN SUBSTANTIAL CONTACT WITH SURFACE BEING INSULATED.
- INSULATION R-VALUE SHALL BE VISIBLE EVERY 300 SF.
 NEW DUCTS IN UNCONDITIONED SPACES TO BE INSULATED WITH MIN. R-8. 7. 75% OF ALL NEW INDOOR LIGHT FIXTURES SHALL BE EQUIPPED WITH HIGH EFFICACY LAMPS.

HEAT/MECHANICAL NOTES

HVAC PERMIT TO BE A SEPARATE, DEFERRED SUBMITTAL BY CONTRACTOR. SCOPE OF MECHANICAL WORK TO INCLUDE: 1. MODIFICATION TO EXIST. DUCTWORK AS REQ'D. FOR NEW FLOOR AREAS.

ELECTRICAL NOTES

ELECTRICAL WORK TO BE A SEPARATE, DEFERRED PERMIT SUBMITTAL BY CONTRACTOR.

PLUMBING NOTES

PLUMBING PERMIT TO BE A SEPARATE, DEFERRED SUBMITTAL BY CONTRACTOR.

FLOOR PLAN LEGEND

- EXIST. WALL NEW WOOD FRAMED WALL SD SMOKE/CARBON MONOXIDE DETECTOR 1
 - LISTED RANGE HOOD 100 CFM (MIN). IF EXHAUST HOOD IS 400 CFM OR MORE, THEN MAKEUP AIR SHALL BE PROVIDE PER IRC SECTION M1503.4
 - 50 (MIN.) CFM ON SWITCH



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architect, LLC **GILCHRIST** asshinute DAVID





DRAWING TITLE MAIN LEVEL FLOOR PLAN

PERMIT SUBMITTAL

03.22.2021



EXISTING UNALTERED FLOOR AREA

WINDOW SCHEDULE NOTE: CONTRACTOR TO VERIFY ALL R.O. AND WINDOW UNIT DIMENSIONS PRIOR TO ORDERING WINDOWS.

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١.	D.QTY	WIDTH	HT	SAFETY	EGRESS	ТҮРЕ	U-VAL.	MFR.	MATERIAL	NOTES
1	A 1	4 - 0	4 - 0			PICTURE	0.30	MILGARD	FIBERGLASS	
	3 2	5 - 0	4 - 0		Х	HORIZ. SLIDER	0.30	MILGARD	FIBERGLASS	
(2 1	5 - 0	5 - 0			HORIZ. SLIDER	0.30	MILGARD	FIBERGLASS	NEW TO REPLACE EXIST., VERIFY R.O. WIDTH IN FI
	D 1	2 - 6	4 - 6			PICTURE	0.30	MILGARD	FIBERGLASS	NEW TO REPLACE EXIST., VERIFY R.O. WIDTH IN FI
	E 1	16 - 0	8 - 0	Х		SLIDING GLASS DOOR	0.30	MILGARD	FIBERGLASS	
	- 2	3 - 3	6 - 0			COMPOSITE PICTURE/CASEMENT	0.30	MILGARD	FIBERGLASS	NEW TO REPLACE EXIST., VERIFY R.O. WIDTH IN FI
(G 2	3 - 0	4 - 6		Х	CASEMENT	0.30	MILGARD	FIBERGLASS	
ł	1	3 - 0	3 - 0			PICTURE	0.30	MILGARD	FIBERGLASS	OBSCURE GLASS, VERIFY W/ OWNER
	1	7 - 0	2 - 0			PICTURE	0.30	MILGARD	FIBERGLASS	













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HOLTAN ADDITION 4626 89TH AVE SE MERCER ISLAND, WA 98040

DRAWING TITLE EXTERIOR ELEVATIONS

SSUE **REVISIONS FOR REVIEW**

DATE 11.28.2020

HOLTAN ADDITION 4626 89TH AVE SE MERCER ISLAND, WA 98040

DRAWING TITLE BUILDING SECTIONS

9473

SSLIE REVISIONS FOR REVIEW

DATE 11.28.2020

1. ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE 2018 INTERNATIONAL BUILDING CODE.

- 2. DESIGN LOADING CRITERIA

SDC D, SITE CLASS D, le=1.0, Ss=1.431, S1=0.44, SDS=0.954, SD1=0.546, Cs=0.146 SEISMIC BASE SHEAR, Vs = 6.4 KIPS

- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS FOR COMPATIBILITY AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- 4. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE & STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE
- 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS & THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE CONTRACTORS WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES OF THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE DROJECT SITE
- CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT & STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.
- 7. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER.

GEOTECHNICAL

8. FOUNDATION NOTES: ALLOWABLE SOIL PRESSURE AND LATERAL EARTH PRESSURE ARE ASSUMED & THEREFORE MUST BE VERIFIED BY A QUALIFIED SOILS ENGINEER OR APPROVED BY THE BUILDING OFFICIAL. IF SOULS ARE FOUND TO BE OTHER THAN ASSUMED, NOTIFY THE STRUCTURAL ENGINEER FOR POSSIBLE FOUNDATION REDESIGN.

FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED EARTH AT LEAST 18" BELOW ADJACENT FINISHED GRADE, UNLESS NOTED OTHERWISE, FOOTINGS SHALL BE CENTERED BELOW COLUMNS OR WALLS

BACK FILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING, GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE.

CONCRETE

- 9. CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH IBC SECTION 1905, 1906 AND ACI 301, INCLUDING TESTING PROCEDURES. CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF fc = 2,500 PSI AND MIX SHALL CONTAIN NOT LESS THAN 5-1/2 SACKS OF CEMENT PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS.
- 10. ALL CONCRETE EXPOSED TO FREEZING-AND-THAWING CYCLES SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494, AND C618. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH SECTION 1904 OF THE INTERNATIONAL BUILDING CODE AND TABLE 19.3.3.1 OF THE ACI 318. EXPOSED CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI. NO SPECIAL INSPECTION IS REQUIRED FOR 3000 PSI INSTALLED SOLELY TO SATISFY EXPOSED CONCRETE REQUIREMENTS.
- 11. REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, fy = 60,000 PSI. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185. SPIRAL REINFORCEMENT SHALL BE PLAIN WIRE CONFORMING TO ASTM 615, GRADE 60, fy = 60,000 PSI.
- 12. REINFORCING STEEL SHALL BE DETAILED (INCLUDING HOOKS AND BENDS) IN ACCORDANCE WITH ACI 315-92 AND 318-14. LAP ALL CONTINUOUS REINFORCEMENT #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP CORNER BARS #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. LAPS OF LARGER BARS SHALL BE MADE IN ACCORDANCE WITH ACI 318-14, CLASS B. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.

NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.

- 13. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS: FTGS & OTHER UNFORMED SURFACES CAST AGAINST & PERMANENTLY EXPOSED TO EARTH...3"
- 14. CAST-IN-PLACE CONCRETE: SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS & DIMENSIONS OF DOOR AND WINDOW OPENINGS IN ALL CONCRETE WALLS. SEE ARCHITECTURAL DRAWINGS FOR ALL GROOVES, NOTCHES, CHAMFERS, FEATURE STRIPS, COLOR, TEXTURE & OTHER FINISH DETAILS AT ALL EXPOSED CONCRETE SURFACES, BOTH CAST-IN-PLACE AND PRE-CAST

ANCHORAGE

15. EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "AT-XP" HIGH STRENGTH EPOXY AS MANUFACTURED BY THE SIMPSON STRONG TIE COMPANY. INSTALL IN STRICT ACCORDANCE WITH IAMPO UES EVALUATION REPORT NO. ER-0263. SPECIAL INSPECTION OF INSTALLATION IS REQUIRED. THREADED RODS SHALL BE ASTM A-36, UNO.

QUALITY ASSURANCE 16. SPECIAL INSPECTION SHALL BE PROVIDED IN ACCORDANCE WITH THE PROJECT SPECS & SECTIONS 110 & 1704 OF THE INTERNATIONAL BUILDING CODE BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE ARCHITECT, & RETAINED BY THE BUILDING OWNER. THE ARCHITECT, STRUCTURAL ENGINEER, & BUILDING DEPARTMENT SHALL BE FURNISHED WITH COPIES OF ALL INSPECTION & TEST RESULTS. SPECIAL INSPECTION IS REQUIRED OF THE FOLLOWING TYPES OF CONSTRUCTION:

EPOXY GROUTED INSTALLATIONS

WOOD THE FOLLOWING MINIMUM STANDARDS:

JOISTS AND BEAMS:

LARGE BEAMS: POSTS:

STUDS, PLATES & MISC. FRAMING

TOP CHORD DEA BOTTOM CHORE TOTAL LOAD WIND UPLIFT (1 BOTTOM CHOR

REFER TO WOOD FRAMING NOTES BELOW FOR TYPICAL NAILING REQUIREMENTS.

22. ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE OR MASONRY.

RECOMMENDATIONS.

GENERAL STRUCTURAL NOTES

(The following apply unless shown otherwise on the plans)

PER MANUFACTURER

17. FRAMING LUMBER SHALL BE KILN DRIED OR MC-19, & GRADED & MARKED IN CONFORMANCE WITH W.C.L.I.B. STANDARD GRADING RULES FOR WEST COAST LUMBER NO. 17. FURNISH TO

:	(2x & 3x MEMBERS)	
	(4x MEMBERS)	
	(INCL. 6x AND LARGER)	
	(4x MEMBERS)	
	(6x AND LARGER)	

HEM-FIR NO. 2 MINIMUM BASE VALUE, Fb = 850 PSI DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1000 PSI DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1350 PSI DOUGLAS FIR-LARCH NO. 2 MINIMUM BASE VALUE, Fc = 1350 PSI DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fc = 1000 PSI DOUGLAS-FIR-LARCH ÓR HEM-FIR NO. 2

18. MANUFACTURED LUMBER, PSL, LVL, AND LSL, SHALL BE MANUFACTURED UNDER A PROCESS APPROVED BY THE NATIONAL RESEARCH BOARD. EACH PIECE SHALL BEAR A STAMP OR STAMPS NOTING THE NAME AND PLANT NUMBER OF THE MANUFACTURER, THE GRADE, THE NATIONAL RESEARCH BOARD NUMBER, AND THE QUALITY CONTROL AGENCY. ALL PSL, LVL AND LSL LUMBER SHALL BE MANUFACTURED IN ACCORDANCE WITH ICC-ES ESR-1387 USING DOUGLAS FIR VENEER GLUED WITH A WATERPROOF ADHESIVE MEETING THE REQUIREMENTS OF ASTM D2559 WITH ALL GRAIN PARALLEL WITH THE LENGTH OF THE MEMBER. THE MEMBERS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: FOLLOWING MINIMUM PROPERTIES:

Fb = 2900 PSI, E = 2000 KSI, Fv = 290 PSI PSL (2.0E) Fb = 2600 PSI, E = 1900 KSI, Fv = 285 PSI LVL (1.9E) Fb = 2250 PSI, E = 1500 KSI, Fv = 285 PSI LSL (1.5E)

DESIGN SHOWN ON PLANS IS BASED ON LUMBER MANUFACTURED BY THE WEYERHAEUSER CORP. ALTERNATE MANUFACTURERS MAY BE USED SUBJECT TO REVIEW & APPROVAL BY THE ARCHITECT & STRUCTURAL ENGINEER, ALTERNATE JOIST HANGERS & OTHER HARDWARE MAY BE SUBSTITUTED FOR ITEMS SHOWN PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. ALL JOIST HANGERS AND OTHER HARDWARE SHALL BE COMPATIBLE IN SIZE WITH MEMBERS PROVIDED.

MANUFACTURED LUMBER PRODUCTS SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS UPON RECEIPT OF MATERIAL & DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%. EXCESSIVE DEFLECTIONS MAY OCCUR IF MOISTURE CONTENT EXCEEDS THIS VALUE.

19. PREFABRICATED PLYWOOD WEB JOIST DESIGN SHOWN ON PLANS IS BASED ON JOIST MANUFACTURED BY THE WEYERHAEUSER CORPORATION. ALTERNATE PLYWOOD WEB JOIST MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE JOIST HANGERS AND OTHER HARDWARE MAY BE SUBSTITUTED FOR ITEMS SHOWN PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. ALL JOIST HANGERS AND OTHER HARDWARE SHALL BE COMPATIBLE IN SIZE WITH PLYWOOD WEB JOIST PROVIDED.

20. PREFABRICATED CONNECTOR PLATE WOOD ROOF TRUSSES SHALL BE DESIGNED BY THE MANUFACTURER IN ACCORDANCE WITH THE "NATIONAL DESIGN STANDARD FOR METAL PLATE-CONNECTED WOOD TRUSS CONSTRUCTION, ANSI/TPI 1" BY THE TRUSS PLATE INSTITUTE FOR THE SPANS AND CONDITIONS SHOWN ON THE PLANS. LOADING SHALL BE AS FOLLOWS:

25 PSF

10 PSF 5 PSF

TOP CHORD SNOW LOAD	
TOP CHORD DEAD LOAD	
BOTTOM CHORD DEAD LOAD	
TOTAL LOAD	
WIND UPLIFT (TOP CHORD)	
BOTTOM CHORD LIVE LOAD	

PER ASCE 7-10 10 PSF (BOTTOM CHORD LIVE LOAD DOES NOT ACT CONCURRENTLY WITH THE ROOF LIVE LOAD)

WOOD TRUSSES SHALL UTILIZE APPROVED CONNECTOR PLATES (GANG NAIL OR EQUAL). **SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS TO THE ARCHITECT & STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION.** SUBMITTED DOCUMENTS SHALL BE SIGNED AND STAMPED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF WASHINGTON PROVIDE FOR SHAPES, BEARING POINTS, INTERSECTIONS, HIPS, VALLEYS, ETC, SHOWN ON THE DRAWINGS. EXACT COMPOSITION OF SPECIAL HIP, VALLEY, & INTERSECTION AREAS (USE OF GIRDER TRUSSES, JACK TRUSSES, STEP-DOWN TRUSSES, ETC.) SHALL BE DETERMINED BY THE MANUFACTURER, UNLESS SPECIFICALLY INDICATED ON THE PLANS. PROVIDE ALL TRUSS-TO-TRUSS AND TRUSS-TO-GIRDER TRUSS CONNECTION DETAILS AND REQUIRED CONNECTION MATERIALS. PROVIDE FOR ALL TEMPORARY AND PERMANENT TRUSS BRACING AND BRIDGING.

21. PLYWOOD SHEATHING SHALL BE GRADE C-D, EXTERIOR GLUE OR STRUCTURAL II, EXTERIOR GLUE IN CONFORMANCE WITH DOC PS 1. ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD.

ROOF SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 32/16. FLOOR SHEATHING SHALL BE 3/4" (NOMINAL) WITH SPAN RATING 48/24. WALL SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 24/0.

23. PRESSURE TREATED WOOD SHALL BE TREATED WITH WATERBORNE PRESERVATIVES PER AWPA STANDARD U1. INTERIOR WOOD IN CONTINUOUS CONTACT WITH CONCRETE (SUCH AS SILL PLATES) SHALL BE IN ACCORDANCE WITH USE CATEGORY 2 (UC2).WOOD IN CONTINUOUS CONTACT WITH FRESH WATER OR SOIL SHALL BE IN ACCORDANCE WITH USE CATEGORY 3B (UC3B). TIMBER CONNECTORS IN DIRECT CONTACT WITH TREATED WOOD SHALL BE G185 OR A185 HOT DIPPED OR CONTINUOUS HOT GALVANIZED PER ASTM A653. FASTENERS AND TIMBER CONNECTORS IN DIRECT CONTACT WITH A CTA TREATED WOOD SHALL BE TYPE 204 OB 216 STAINLESS STEEL CONTACT WITH ACZA TREATED WOOD SHALL BE TYPE 304 OR 316 STAINLESS STEEL

24. TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NUMBER C-C-2015. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICBO OR ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS PECOMMENDATIONS

ALL 2X JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "LUS" SERIES JOIST HANGERS. ALL TJI JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "ITS" SERIES JOIST HANGERS. ALL DOUBLE JOIST BEAMS SHALL BE CONNECTED TO FLUSH BEAMS WITH "MIT" SERIES JOIST HANGERS. WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER. ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED.

WOOD (continued)

25. WOOD FASTENERS

A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS: SIZE 6d

SIZE LENGTH D 6d 2" 8d 2-1/2" 10d 3" 12d 3-1/4" 16d BOX 2-1/2" 3-1/2" 3-1/2"	0.113" 0.131" 0.148" 0.148" 0.148"
16d BOX 3-1/2"	0.135"

IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AN APPROVAL. PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE DRIVEN FL TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED.

- B. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG BOLTS BEARING ON WOOD. INSTALLATION OF LAG BOLTS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (2015 EDITION) WITH A LEAD BORE HOLE OF 60-70% OF THE SHANK DIAMETER. LEAD HOLES ARE NOT REQUIRED FOR 3/8"Ø AND SMALLER LAG SCREWS.
- 26. WOOD FRAMING NOTES--THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:
- A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE. MINIMUM NAILING, UNLESS NOTE OTHERWISE, SHALL CONFORM TO TABLE 2304.10.1 OF THE INTERNATIONAL BUILDING CODE. COORDINATE THE SIZE & LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS
- 3. WALL FRAMING: REFER TO ARCHITECTURAL DRAWINGS FOR THE SIZE OF ALL WALLS. ALL STUDS SHALL BE SPACED AT 16" OC, UNLESS NOTED OTHERWISE TWO STUDS, MINIMUM, SHALL BE PROVIDED AT THE END OF ALL WALLS & AT EACH SIDE OF ALL OPENINGS, & AT BEAM OR HEADEF BEARING LOCATIONS. TWO 2x8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE CONTINUOUS SOLID BLOCKING AT MID-HEIGHT OF ALL STUD WALLS OVER 10'-0" IN HEIGHT.

ALL WALLS SHALL HAVE A SINGLE BOTTOM PLATE & A DOUBLE TOP PLATE. END NAIL TOP PLATE EACH STUD WITH TWO 16d NAILS, & TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 10d @ 12"OC & LAP MINIMUM 4'-0" AT JOINTS AND PROVIDE TWELVE 10d NAILS @ 4"OC EACH SIDE JOINT.

FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH & AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS NOTED OTHERWISE PROVIDE SOLID BLOCKING AT ALL BEARING POINTS. TOENAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEA WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI-JOI BEAMS TOGETHER WITH TWO ROWS 16d @ 12"OC UNLESS NOTED OTHERWISE ON THE PLANS, PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED AT 6"OC WITH 8d NAILS TO FRAMED PANEL EDGES, STRUTS & OVER STUD WALLS AS SHOWN ON PLANS AND @ 12"OC TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR & ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 16d @ 12"OC, UNLESS NOTE OTHERWISE.

ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BEL(WITH 16d NAILS @ 6"OC, OR ATTACHED TO CONCRETE BELOW WITH 5/8"Ø ANCHOR BOLTS @ 4'-0' EMBEDDED 7" MINIMUM, UNLESS NOTED OTHERWISE. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH TWO ROWS OF 16d @ 12"OC. UNLESS NOTED OTHERWIS GYPSUM WALLBOARD SHALL BE FASTENED TO THE INTERIOR SURFACE OF ALL STUDS & PLATES WITH NO. 6 X 1-1/4" TYPE S OR W SCREWS @ 8"OC. UNLESS NOTED OTHERWISE, 1/2" (NOMINAL) A RATED SHEATHING (SPAN RATING 24/0) SHALL BE NAILED TO ALL EXTERIOR VERTICAL SURFACES WITH 8d NAILS @ 6"OC AT PANEL EDGES & TOP & BOTTOM PLATES (BLOCK UNSUPPORTED EDG & TO ALL INTERMEDIATE STUDS & BLOCKING WITH 8d NAILS @ 12"OC. ALLOW 1/8" SPACING AT AL PANEL EDGES & PANEL ENDS.

S1.0 GENE S2.0 FOUN S2.1 UPPE S2.2 ROOD S3.0 FOUN S4.0 FRAM S4.1 FRAM	DRAWING ERAL STRUCTURAL NOT NDATION & CRAWLSPAC ER FLOOR & LOW ROOF F FRAMING PLAN NDATION DETAILS /ING DETAILS	G IND TES, ABBR CE FRAMING	EX EVIATIONS & LEGEND IG PLAN PLAN	Image: Constraint of the system Image: Constraint of the system
				HUCH 42016 CTURAL ENGINE
LEGEND				
 2	 CONCRETE ON PLAN BEARING WALL BELOW BEARING WALL ABOVE NON-BEARING WALL BEI ROOF DECK EXTENT ON FOOTING (BELOW GRAD JOIST or RAFTER SPAN JOIST or RAFTER SPAN JOIST or RAFTER EXTEN LOW ROOF FRAMING BEAM or HEADER VERTICAL HOLDOWN ST METAL CONNECTOR HORIZ STRAPPING HARI SHEARWALL TYPE & LEI 	[LOW I PLAN DE) ITS TRAP <u>SECTIO</u> DWARE NGTH	COLUMN BELOW FOOTING TYPE SECTION NUMBER SECTION NUMBER DRAWING WHERE SECTION IS LOCATED DETAIL NUMBER DRAWING WHERE DETAIL IS LOCATED SECTION NUMBER DRAWING WHERE SECTION NUMBER	HOLTAN RESIDENCE 4626 89TH AVE SE MERCER ISLAND, WA 98040
	AND	H, HT	HEIGHT	
@ABALTAPPROXARCHBMBETW'NBLDGBLKGBOTBSBUCL, QC/WCCCJCOLCONCCONTCTRDETDIMDLDNDODPDSDTDWGSEAEFELEQ SPEW(E)EXTFBFDFDN	AT ANCHOR BOLT ALTERNATE(LY) APPROXIMATE(LY) ARCHITECT(URAL) BEAM BETWEEN BUILDING BLOCKING BOTTOM BACKSPAN BUILT UP CENTER LINE COMPLETE WITH CENTER TO CENTER CONSTRUCTION JOINT COLUMN CONCRETE CONSTRUCTION CONTINUOUS CENTER DETAIL DIMENSION DEAD LOAD DOWN DITTO DEEP DRAG STRUT DRAGTRUSS DRAWINGS EACH EACH FACE ELEVATION EQUAL(LY) SPACES(D) EACH WAY EXISTING EXTERIOR FLUSH BEAM FLOOR DRAIN FOUNDATION	HGR(S) HDR HORIZ INT INTR INV KP LG LL LT MATL MAX MFR MIN N/S NTS OC OPNG OPPO OWSJ PERP PL, REV R/W SECT SIM SOG SPEC STAG STIR(S) STL STR SW	HANGER(S) HEADER HORIZONTAL INTERSECTION INTERIOR INVERTED KING POST LONG LIVE LOAD LIGHT MATERIAL MAXIMUM MANUFACTURER MINIMUM NEW NEAR SIDE NOT TO SCALE ON CENTER OPENING OPPOSITE OPEN WEB STEEL JOIST PERPENDICULAR PLATE PRESSURE TREATED RADIUS REINFORCEMENT REQUIRED REVISION REINFORCED WITH SECTION SIMILAR SLAB ON GRADE SPACE(D)(S)(ING) SPECIFICATION STAGGERED STANDARD STIRRUP(S) STEEL STRUCTURE(AL) SHEAR WALL	No. Date Issue A 08.14.20 Coordination B 09.15.20 Coordination 0 03.19.21 Building Permit
FDN FIN GR FIN FL FL FRMG F/S FTG GA GALV GL GLB GT	FOUNDATION FINISHED,FINAL GRADE FINISHED FLOOR FLOOR FRAMING FAR SIDE FOOTING GAUGE GALVANIZED GRIDLINE, BAYLINE GLULAM BEAM GIRDER TRUSS	T&B T&G THK TOC TOS TYP U/S UNO VERT W W/	TOP AND BOTTOM TOUNGE AND GROOVE THICK(NESS) TOP OF CONCRETE TOP OF STRUCTURAL STEEL TYPICAL UNDERSIDE UNLESS NOTED OTHERWISE VERTICAL WIDE WITH	Sheet Contents GENERAL STRUCTURAL NOTES, ABBREVIATIONS & LEGEND Job No. 20-077 Sheet No.

HATCH	LEGEND

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NEW CONCRETE WALLS BELOW EXISTING CONCRETE WALLS BELOW

	FOOTING SCHEDUL			
MARK	SIZE	REINFO		
(F2.0)	2'-0" x 2'-0" x 8" DP	(2)#4 EW 3		
(F2.5)	2'-6" x 2'-6" x 10" DP	(3)#4 EW 3		
F3.0	3'-0" x 3'-0" x 10" DP	(4)#4 EW 3		

- 3" FROM BOT
- 3" FROM BOT
- 3" FROM BOT
- AT-XP HIGH STRENGTH EPOXY AS MANUF. BY SIMPSON, TYP
- $\langle B \rangle$ PT 4x4 w/ PC4 @ TOP & ABA POST BASE BELOW

VERIFY EXISTING FOOTING IS 18" WIDE x 8" DEEP w/ 6" WIDE x 6" TALL STEM. CONTACT ENGINEER OF RECORD IF OTHER THAN ASSUMED

CRAWLSPACE FRAMING & FOUNDATION PLAN SCALE: 1/4" = 1'-0"

- PLAN NOTES
- 1. DO NOT SCALE DRAWINGS. REFER TO ARCH DWGS FOR ALL DIMENSIONS. 2. FLOOR SHEATHING SHALL BE 3/4" TONGUE AND GROOVE A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 48/24). GLUE AND NAIL @ ALL FRAMED PANEL EDGES
- WITH 8D @ 6"OC AND TO ALL INTERMEDIATE FRAMING @ 12"OC 3. FLOOR JOISTS SHALL BE 2x8 @ 16"OC TYPICAL JOIST HANGERS TO BE SIMPSON LUS OR JB, UNO.
- 4. THE BOTTOM OF ALL EXTERIOR FTGS SHALL BE 18" MINIMUM BELOW GRADE.
- 4" CONCRETE SLAB OVER 6 MIL VAPOR BARRIER ON 6" OF GRAVEL OR CRUSHED 5
- ROCK OVER FIRM UNDISTURBED SOIL OR ENGINEERED COMPACTED BACK-FILL. F# INDICATES FOOTING MARK. SEE FOOTING SCHEDULE FOR SIZE & REINFORCING. 6.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS. 7.

1/4"=

nickerson 22	engineering 221 Everett Ave #202 Everett, WA 98201 425 610 4425			
ⓒ Nickerson Engine drawings were prep RESIDENCE" proje ISLAND, WA. They use on any other pr Stated drawing scal 36" x 24" sheet.	eering, LLC 2020 These ared for the "HOLTAN ct in MERCER are not intended for oject. e is based on			
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Sheet No.

S2.0

NEW STRUCTURAL WALLS BELOW

EXTEND EXISTING WALL HEIGHT (H=9'-6" MAX) BY REMOVING EXISTING TOP PLATE, SISTER NEW STUDS (MATCH OR EXCEED EXISTING STUD SIZE) @ 16"O.C. (MAX). PROVIDE NEW DOUBLE TOP PLATE PER DETAIL 3/S4.0

 $\langle A \rangle$ 4x4 KING POST w/ BC46 @ TOP & BC4 @ BOTTOM

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HOLTAN RESIDENCE

No. Date

Sheet Contents

Job No.

Sheet No.

ROOF FRAMING

PLAN

20-077

A 08.14.20 Coordination

B 09.15.20 Coordination

03.19.21 Building Permit

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4626 89TH AVE SE MERCER ISLAND, WA 9

Issue

SEE HATCH LEGEND FOR WALL HEIGHT EXTENSION

ROOF FRAMING PLAN SCALE: 1/4" = 1'-0"

- PLAN NOTES
- 1. DO NOT SCALE DRAWINGS. REFER TO ARCH DWGS FOR ALL DIMENSIONS.
- 2. FLOOR SHEATHING SHALL BE 3/4" TONGUE AND GROOVE A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 48/24). GLUE AND NAIL @ ALL FRAMED PANEL EDGES WITH 8d @ 6"OC AND TO ALL INTERMEDIATE FRAMING @ 12"OC
- 3. ROOF SHEATHING SHALL BE 1/2" A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 32/16), FACE GRAIN PERPENDICULAR TO SUPPORTS OVER ROOF FRAMING PER PLAN. NAIL SHEATHING @ ALL FRAMED PANEL EDGES WITH 8D @ 6"OC AND TO ALL INTERMEDIATE Framing @ 12"OC.
- 4. FLOOR JOISTS SHALL BE 11 7/8" TJI 360'S @ 16"OC U.N.O. TYPICAL JOIST HANGERS TO BE SIMPSON ITS OR IUS, UNO.
- 5. HEADERS OVER DOOR AND WINDOW OPENINGS SHALL BE (2) 2x8 MINIMUM. PROVIDE (2) TRIMMER STUDS MIN @ EA END OF ALL HEADERS U.N.O. SEE DETAIL 4/S4.0 FOR TYPICAL INSTALLATION.
- 6. PROVIDE (2) STUDS MINIMUM @ EACH END OF ALL BEAMS U.N.O. ON PLANS. BEAR BEAM FULLY ON BUILT UP COLUMN & PROVIDE POSITIVE CONNECTION BY EITHER A35 OR LTP4
- CLIPS ON EA SIDE OF BEAM OR W/ AN AC, PC, OR LPC CAP. 7. SW# (X'-X") INDICATES SHEAR WALL TYPE AND APPROXIMATE LENGTH. SEE 1/S4.0 FOR CONSTRUCTION REQUIREMENTS.
- ALL EXTERIOR WALLS SHALL BE SW1, U.N.O. ON PLANS. 8.
- 9. TYPICAL TOP PLATE CONSTRUCTION PER 3/S4.0.
- 10. (X)CS16 INDICATES VERTICAL HOLD-DOWN STRAP @ END OF SHEAR WALL ABOVE. (X) INDICATES STRAP QTY. SEE DETAIL 8/S4.0 FOR INSTALLATION REQUIREMENTS.
- 11. DRAGSTRUT (D.S.) : PROVIDE PANEL EDGE NAILING ALONG FULL LENGTH OF MEMBER. 12. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

S2.

S3.0

